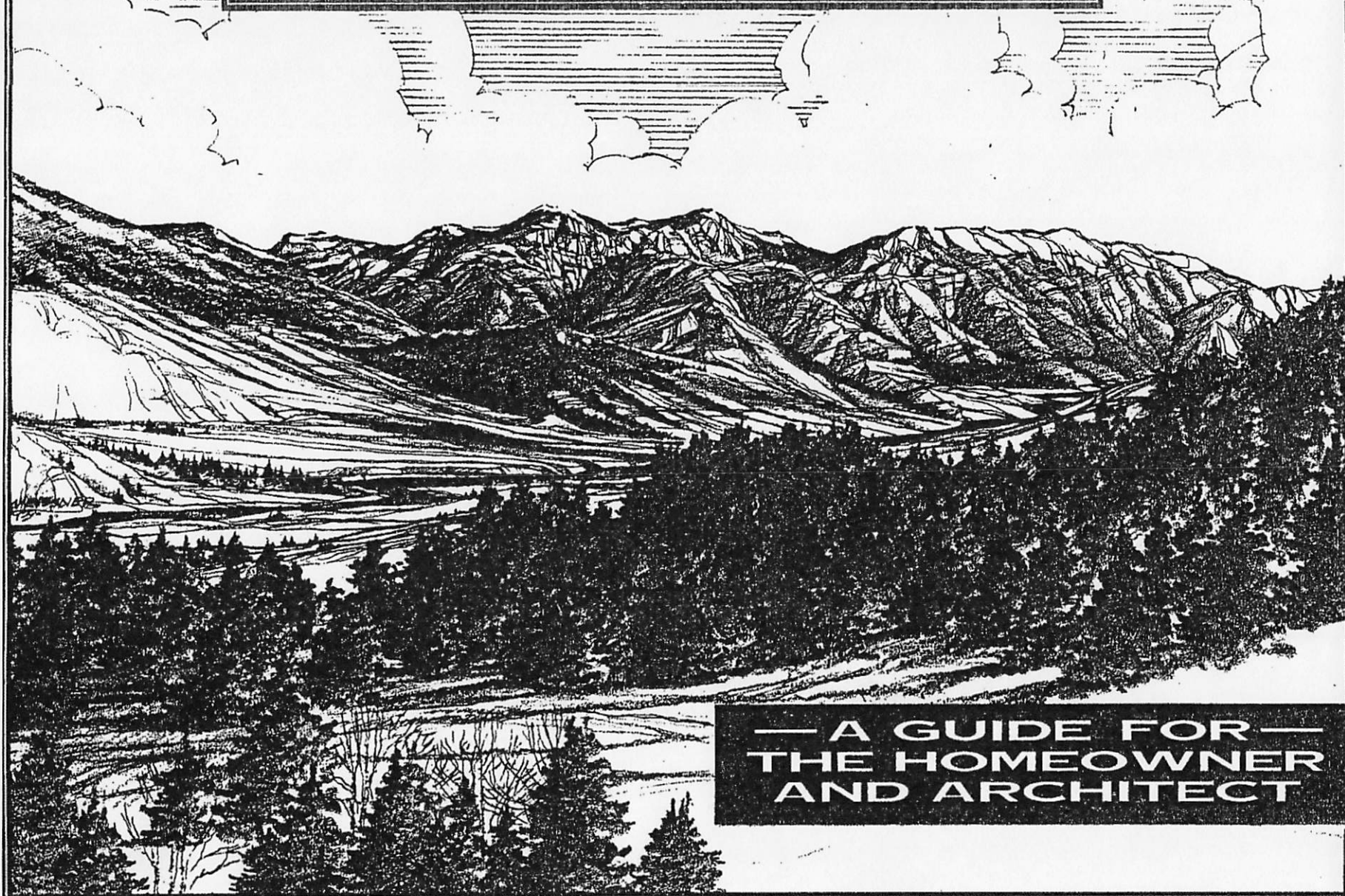


SUN WEST RANCH DESIGN GUIDE



— A GUIDE FOR —
THE HOMEOWNER
AND ARCHITECT

WELCOME TO SUN WEST RANCH

THE SUN WEST RANCH ARCHITECTURAL REVIEW COMMITTEE (ARC) WOULD LIKE TO WELCOME YOU TO THE SUN WEST RANCH. THIS MANUAL HAS BEEN ASSEMBLED BY THE ARC TO ASSIST YOU, YOUR ARCHITECT AND BUILDER IN MAKING SUN WEST RANCH AN INTEGRAL PART OF YOUR LIFE. THIS MANUAL, ALSO KNOWN AS THE DESIGN REVIEW GUIDE OR (DRG), DESCRIBES THE DESIGN REVIEW GUIDELINES AND MANDATORY REQUIREMENTS RELATING TO THE DESIGN REVIEW PROCESS FOR THE CONSTRUCTION OF YOUR HOME AT SUN WEST RANCH.

ALTHOUGH THE DESIGN OF YOUR HOME MUST BE APPROVED BY THE ARC, WHICH IS A COMMITTEE OF TWO SUN WEST RANCH PROPERTY OWNERS AND ONE ARCHITECT APPROVED BY THE SWRPOA BOARD, NEITHER THE ARC NOR THE SUN WEST RANCH PROPERTY OWNERS ASSOCIATION (SWRPOA) SHALL INCUR ANY LIABILITY OR DAMAGES RELATING TO OR ARISING FROM ANY DESIGN DEFECT OR CONSTRUCTION DEFECT IN YOUR HOME OR THE NEGLIGENT CONSTRUCTION OF YOUR HOME. THE MEMBERS OF THE ARC ARE NOT REVIEWING THE MATERIALS SUBMITTED AS RETAINED PROFESSIONAL ARCHITECTS OR ENGINEERS.

EACH PARCEL OF LAND IS AS UNIQUE AND DIFFERENT AS THE DESIRES AND PERSONALITY OF OUR PROSPECTIVE OWNERS. THE ARC RESPECTS THIS UNIQUE EXPRESSION PROVIDING IT IS HARMONIOUS TO THE OVERALL PLAN OF THE DEVELOPING COMMUNITY. THOUGHTFUL DEVELOPMENT COUPLED WITH AN AWARENESS OF OUR SURROUNDING ENVIRONMENT IS THE SINGLE MOST IMPORTANT CONCERN AND RESPONSIBILITY OF THE ARC.

JAMES D. MORTON, A.I.A. COPYRIGHT -
JUNE 1993 REVISION 6 - OCTOBER 2024

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MANDATORY REQUIREMENTS

- 2000 SQUARE FEET - MINIMUM SQUARE FOOTAGE REQUIRED OF RESIDENTIAL LIVING AREA.
- 3500 GALLON CISTERN - MINIMUM CAPACITY REQUIRED.
- 22 FEET - MAXIMUM HEIGHT ALLOWED FOR ONE STORY HOME.
- 28 FEET - MAXIMUM HEIGHT ALLOWED FOR TWO STORY HOME.
- ALL HOMES MUST HAVE FIRE RETARDANT ROOFS.
- A GRADING AND DRAINAGE PLAN MUST BE PREPARED BY A LICENSED ENGINEER FOR EACH LOT, BUILDING ENVELOPE AND DRIVEWAY.
- ALL CONSTRUCTION AND LANDSCAPING PROJECTS MUST BE COMPLETED WITHIN 2 YEARS FROM FIRST DAY OF GRADING/DISTURBING DIRT FOR HOUSE FOUNDATION.
- ALL BUILDINGS MUST BE 100' FROM MAIN ROADS.
- BEFORE CONSTRUCTION CAN BEGIN, A REFUNDABLE CONFORMANCE DEPOSIT OF \$15,000 IS REQUIRED, WHICH WILL BE RETURNED AFTER ALL BUILDING AND LANDSCAPING IS SUBSTANTIALLY COMPLETED.

PLANNING YOUR NEW HOME

THE SUN WEST RANCH DESIGN REVIEW GUIDE HAS BEEN PREPARED TO PROVIDE GUIDANCE AND DIRECTION TO THE SWR LOT OWNER AND TO AID IN YOUR UNDERSTANDING OF THE ARCHITECTURAL STANDARDS AND BUILDING PERMIT PROCEDURES AND REQUIRED APPROVALS. THE DESIGN REVIEW GUIDE WILL BE UPDATED TO KEEP PACE WITH NEW TECHNOLOGY, BEST CONSTRUCTION PRACTICES, CHANGING DESIGN STYLES, WHILE AT THE SAME TIME SUPPORTING THE ENVIRONMENT AND WESTERN ETHOS OF SUN WEST RANCH.

THE SUN WEST RANCH DESIGN REVIEW GUIDE IS INTENDED TO PRESERVE AND ENHANCE THE NATURAL BEAUTY OF THE ENVIRONMENT, INTEGRATING THE NATURAL FEATURES INTO THE DESIGN PROCESS AND QUALITY OF EACH UNIQUE HOME.

IN RESPONSE TO OUR CHANGING CLIMATE, THE SUN WEST DESIGN REVIEW GUIDE REQUIRES A LANDSCAPE PLAN THAT ADDRESSES FIRE PREVENTION, FOREST HEALTH, AND THE MANAGEMENT AND PRESERVATION OF NATURAL VEGETATION.



THE ARCHITECTURAL REVIEW COMMITTEE (ARC)

MEMBERS / GOALS:

SELECTED FELLOW PROPERTY OWNERS AND A RETAINED DESIGN PROFESSIONAL WILL COMPRISE THE ARC WHICH WILL PROVIDE THE SERVICE OF DESIGN REVIEW AND APPROVALS. THIS PROCESS IS THE KEY TO THE SUCCESSFUL DEVELOPMENT OF YOUR SITE AND ITS INTEGRAL CONNECTION TO THE SUN WEST RANCH.

THE ARC'S PRIMARY CONSIDERATION IS TO AID YOU AND YOUR ARCHITECT IN MAINTAINING THE HIGH-QUALITY STANDARDS SET HEREIN.

THE ARC WISHES TO ENCOURAGE INDIVIDUAL EXPRESSION WHILE ALSO ACHIEVING THESE DESIGN STANDARDS. THIS WILL SERVE TO PROTECT YOUR AND YOUR FELLOW PROPERTY OWNERS' INVESTMENTS.

THE SUN WEST RANCH ARC (ARC) HAS ESTABLISHED THE DESIGN REVIEW GUIDELINES (DRG) WHICH APPLY TO EACH PARCEL OF PROPERTY AT THE RANCH. AN OWNER ACCEPTS MEMBERSHIP IN THE SUN WEST RANCH PROPERTY OWNERS' ASSOCIATION (SWRPOA) AND BECOMES BOUND BY THE RULES AND REGULATIONS OF THE SUN WEST RANCH ARC AS WELL AS THE SECOND RESTATEMENT OF DECLARATIONS OF RESTRICTIONS FOR SUN WEST RANCH AND REVOCATION OF EARLIER RESTRICTIONS (THE PROTECTIVE COVENANTS) OR SUBSEQUENT REVISIONS OF BOTH THE COVENANTS AND THIS DRG. ALL REVISIONS TO THIS DESIGN GUIDE MUST BE APPROVED BY BOTH THE ARC AND THE SWRPOA BOARD.

AUTHORITY:

THE ARC SHALL HAVE THE POWER, AUTHORITY, STANDING AND RIGHT TO ENFORCE THE PROTECTIVE COVENANTS AND THIS DESIGN GUIDE IN ANY COURT OF LAW OR EQUITY WHEN IT REASONABLY BELIEVES THE SAME HAVE BEEN VIOLATED.

JURISDICTION:

THE AREA OF JURISDICTION OF THE ARCHITECTURAL REVIEW COMMITTEE (ARC) IS SET FORTH IN THE PROTECTIVE COVENANTS AND INCLUDES ALL OF THE LANDS THAT ARE PART OF THE SUN WEST RANCH DEVELOPMENT.

NO BUILDING, CONSTRUCTION, RECONSTRUCTION, REMODELING, LANDSCAPING, PARKING, FENCE, WALL OR OTHER IMPROVEMENT SHALL BE PLACED, CONSTRUCTED, ERECTED, REPAIRED, RESTORED, RECONSTRUCTED, ALTERED, REMODELED, ADDED TO, MAINTAINED OR DEMOLISHED ON ANY LOT, SITE OR TRACT UNTIL BUILDING DRAWINGS, PLANS & SPECIFICATIONS (WHICH ARE REQUIRED TO HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR ALL CONSTRUCTION, RECONSTRUCTION, ALTERATION OR REMODELING) AND SUCH OTHER INFORMATION THE ARC MAY REASONABLY REQUIRE, INCLUDING, WITHOUT BEING LIMITED TO: COLOR SAMPLES, MATERIAL SAMPLES, AND MODELS - HAVE BEEN SUBMITTED AND APPROVED BY A MAJORITY OF THE ARC IN WRITING, NOR MAY THE SAME BE COMMENCED UNTIL THE ARC SHALL HAVE APPROVED AND ISSUED A PERMIT ALLOWING FOR SUCH IMPROVEMENTS.

THIS DRG HAS BEEN WRITTEN TO ACT IN CONCERT WITH THE RECORDED CC&Rs (PROTECTIVE COVENANTS) OF THE SUN WEST RANCH. FOR YOUR CONVENIENCE, THE SECTIONS IN THE CC&Rs THAT PERTAIN TO THE ARC CAN BE FOUND ON PAGES 12-23. THIS DRG SHALL TAKE PRECEDENCE ON MATTERS RELATIVE TO CONSTRUCTION ON THE RANCH.

CORRESPONDENCE:

SUN WEST RANCH POA
3 GILDRED LANE
CAMERON, MT 59720
PHONE 406-682-4831
EMAIL OFFICE@SUNWESTRANCHPOA.COM

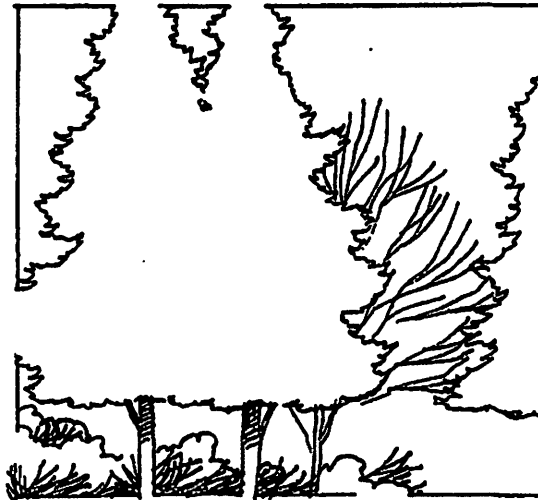
THE DESIGN, REVIEW AND CONSTRUCTION PROCESS

1. PRE-DESIGN

KNOW SUN WEST RANCH

ACQUAINT YOURSELF WITH THE RANCH. VISIT YOUR NEW LOT WITH THE RANCH MANAGER AND A MEMBER OF THE ARC TO HELP YOU UNDERSTAND THE DESIGN REVIEW PROCESS AND ANY UNIQUE FEATURES OF YOUR SITE. READ THE SWR DESIGN REVIEW GUIDE AND THE SWR CC & RS TO HELP YOU DESIGN YOUR HOME WITHIN THE SWR COMMUNITY.

CHOOSE YOUR CONSULTANTS



THE FOLLOWING CONSULTANTS ARE REQUIRED TO BEGIN THE DESIGN PROCESS OF YOUR NEW HOME:

- LICENSED ARCHITECT TO PROVIDE YOU WITH INITIAL PLANNING CONSIDERATIONS, CONSTRUCTION DOCUMENTS, AND GUIDANCE THROUGH THE APPROVAL PROCESS.
- LICENSED SURVEYOR TO PROVIDE YOU WITH A TOPOGRAPHIC SURVEY OF YOUR LOT, AS WELL AS THE PROPERTY CORNERS, THE BUILDING ENVELOPE, AND OTHER NATURAL FEATURES THAT MAY AFFECT THE DESIGN OF YOUR NEW HOME.
- LICENSED CIVIL ENGINEER TO PROVIDE YOU WITH THE DESIGN OF YOUR DRIVEWAY AND DRAINAGE ADJACENT TO DRIVEWAY AND HOME'S PROXIMITY. SEE SAMPLE GRAPHIC REGARDING REQUIRED SITE INFORMATION.
- IT IS RECOMMENDED THAT YOU HIRE A LANDSCAPE DESIGNER WHO CAN ASSIST IN THE LAYOUT OF TERRACES, WALKWAYS, NATIVE PLANTS, IRRIGATION, VIEW SHED, AS WELL AS PLAN FOR FOREST HEALTH AND FIRE-RETARDANT PLANTS AND MANAGEMENT.

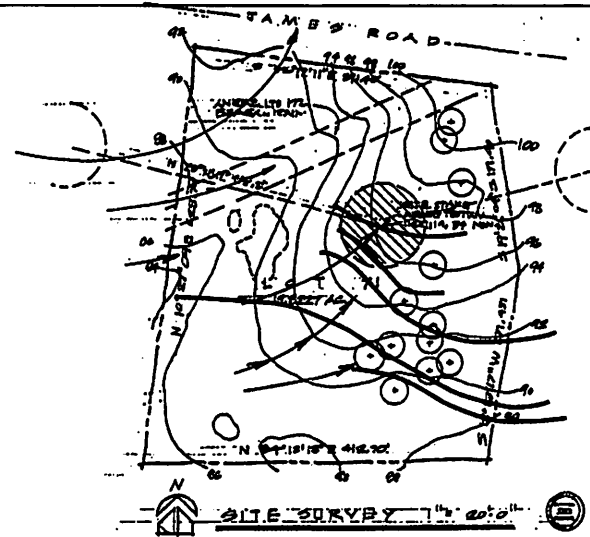
Note:

BE SURE THAT ALL OF YOUR CONSULTANTS READ THE DESIGN REVIEW GUIDE. PARTICULARLY THE SECTIONS WHICH WILL AFFECT THEIR SERVICES.

OBTAIN A SITE SURVEY OF YOUR LOT

A COMPLETED SITE SURVEY WILL INCLUDE THE FOLLOWING ITEMS:

- SHOW ALL EXISTING ROADS, UTILITIES, AND OTHER IMPROVEMENTS.
- INDICATE ANY EASEMENTS OR SETBACKS OF ANY KIND
- GIVE BEARINGS AND DISTANCE OF ALL PROPERTY LINES
- SHOW THE CENTER STAKE (PIN) LOCATION & ELEVATION OF THE DESIGNATED RESIDENTIAL AREA
- SHOW ALL CONTOURS AT MAXIMUM 1' INTERVALS. AS SPECIAL CONDITIONS REQUIRE, CONSULT YOUR ARCHITECT
- SHOW ACTUAL PRECISE LOCATION OF ALL TREES WITH 4" CALIPER TRUNKS OR GREATER AND ALL STANDS OF ASPEN OR OTHER SPECIES
- SHOW ALL OTHER SITE FEATURES SUCH AS ROCK OUTCROPS OR DRAINAGE STRUCTURES
- SHOW TRUE NORTH AND DO DRAWING AT 1" = 20'-0"
- INCLUDE NAME OF LEGAL OWNERS AND NAME, ADDRESS, PHONE NUMBER AND LICENSE NUMBER OF SURVEYOR
- INDICATE AVERAGE NATURAL GRADE WITHIN BUILDING ENVELOPE.



A COMPLETE SURVEY IS AN ESSENTIAL, FUNCTIONAL PREREQUISITE FOR BEGINNING THE DESIGN OF YOUR NEW HOME AND WILL BE REQUIRED AT THE FIRST DESIGN REVIEW (CONCEPTUAL APPLICATION). FOR YOUR PROTECTION AND TO PRESERVE THE UNIQUE FEATURES OF THE SITE, IT IS ESSENTIAL THAT THE SURVEY CONTAIN THE ABOVE INFORMATION.

LOT INFORMATION

LOT NO.	HOME-SITE RADIUS	1 STORY*	2 STORY*
1A	100'	X***	
2	100'		50%**
3	100'	X	
4	100'		X
5	100'		X
6	100'	X	
7	100'	X	
8	100'		50%**
9	100'	X***	
10	100'	X***	
11	100'	X***	
12	100'	X	
13	100'	X	
14	100'		50%**
15	100'		X
16	100'	X	
17	100'	X	
18	100'	X	
19	100'	X	
20	100'	X	
21	100'	X	
22	100'	X***	
23	100'	X	
24A	100'	X***	
25	100'	X***	
26	100'	X***	

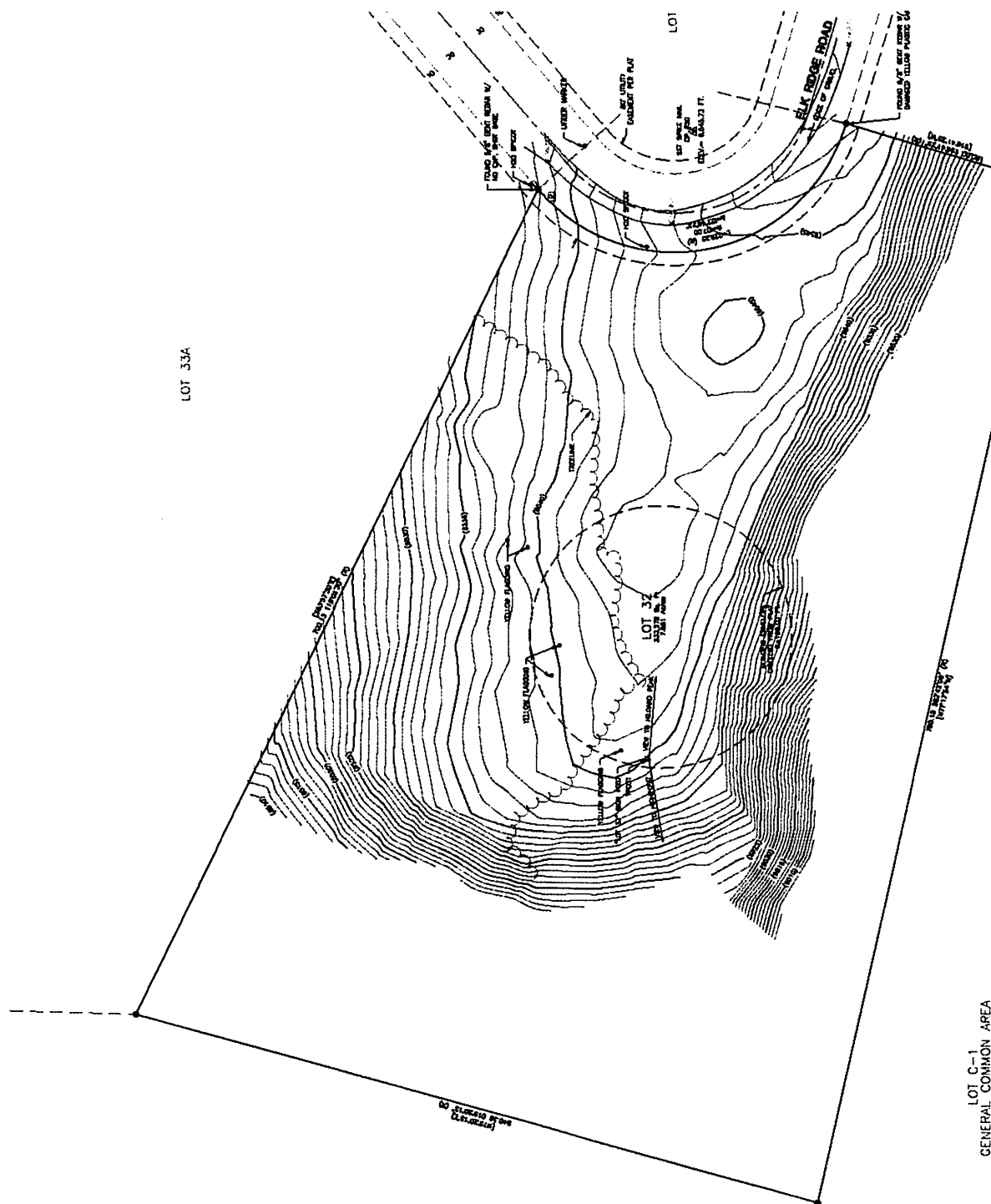
LOT NO.	HOME-SITE RADIUS	1 STORY*	2 STORY*
27	100'		X
28	100'		X
29	100'		X
30	125'	X***	
31	100'		X
32	100'	X	
33	100'		X
34	100'	X***	
35	100'	X***	
36	100'	X***	
37	100'	X***	
38	100'	X***	
39	100'		X
40	100'		X
41	100'	X	
42	100'	X	
43	100'	X	
44	100'	X	
45	100'	X	
46A	100'	X	
47	100'		50%**
48	100'		50%**
49	100'		50%**
50	100'		50%**
51	100'		50%**
52	100'		X
53	100'		X
54	125'		X
55	125'		X

* THE RIDGE OF A ONE STORY HOUSE MAY NOT EXCEED 22' & A TWO STORY HOUSE MAY NOT EXCEED 28' IN HEIGHT.

** 50% INDICATES THE 2ND STORY MAY NOT EXCEED 50% OF THE GROUND FLOOR LIVING AREA.

*** ALLOWS UP TO 50% DAYLIGHT BASEMENT/GARAGE.

EXAMPLE OF SITE SURVEY



LOT C-1
GENERAL COMMON AREA

I hereby certify that the topographic map was prepared under my direct supervision and that I am a duly licensed professional engineer and land surveyor under

Dated This ____ Day Of _____ 2072.

15100 N. 10th Ave., Suite 100

12

2. CONCEPTUAL DESIGN APPLICATION

IN THE EARLY DESIGN OF YOUR NEW HOUSE, HAVE YOUR ARCHITECT PRODUCE AN ILLUSTRATION SHOWING THE DESIGN IMAGE OF THE HOUSE AND HOW THE HOUSE WILL APPEAR ON THE SITE. IT WILL BE HELPFUL TO:



- PROVIDE A 3D DIGITAL DRAWING OR ACCURATE HANDDRAWN SKETCH OF THE HOME DESIGN. IT IS RECOMMENDED TO INDICATE THE CONTEXT BY SHOWING THE EXISTING TREES AND ANY OTHER PROMINENT NATURAL FEATURES.
- INDICATE THE BUILDING MATERIALS USING SAMPLE IMAGES WITH A BRIEF DESCRIPTION.
- INDICATE A COMPLETE SITE PLAN. PLEASE INDICATE THE PROPOSED DRIVEWAY AND BUILDING ENVELOPE.
- INDICATE THE OVERALL HEIGHT OF THE STRUCTURE FROM GRADE TO RIDGE. SEE DETAIL REGARDING AVERAGE NATURAL GRADE IN THE DRG (PAGE 22).
- CLEARLY INDICATE ANY UNIQUE ARCHITECTURAL ELEMENTS, SUCH AS SOLAR PANELS.
- INDICATE LOT NUMBER, DATE, AND ALL CONSULTANTS INVOLVED.

REQUIRED SUBMITTALS:

2 HARD COPIES AND AN ELECTRONIC PDF FILE OF EACH OF THE FOLLOWING DRAWINGS SHOULD BE SUBMITTED TO THE ARC:

- 24"X36" DESIGN SKETCH WITH ARCHITECT'S NAME AND PHONE NUMBER
- SITE SURVEY
- SITE PLAN- SEE SITE PLAN EXAMPLE
- INDICATE ALL TREES OVER A 4" CALIPER WITHIN THE BUILDING ENVELOPE TO BE REMOVED.
- A DESIGN FEE OF \$5,000 IS REQUIRED WITH YOUR SUBMITTAL. IF INCOMPLETE PLANS ARE SUBMITTED, ADDITIONAL FEES WILL BE REQUIRED.

DESIGN REVIEW FEE:

A FEE OF \$5,000 WILL BE REQUIRED PRIOR TO THE ARC REVIEWING YOUR FIRST CONCEPTUAL DESIGN APPLICATION. THIS ONE - TIME FEE SHALL COVER ALL THE STEPS OF DESIGN REVIEW THROUGH COMPLETION OF CONSTRUCTION.

UPON APPROVAL, ONE COPY OF THE SUBMITTAL WILL BE STAMPED, DATED AND RETURNED TO YOU.

THE FEE MAY BE INCREASED IF EXCESSIVE RE-SUBMITTALS ARE NECESSARY TO COMPLY WITH DESIGN REVIEW GUIDELINES.

HOW TO SUBMIT APPLICATION/FORMS

PLEASE MAIL SUBMITTALS TO THE SWRPOA OFFICE OR EMAIL TO THE ARC AND THE SWRPOA OFFICE. MAIL CHECKS TO THE SWRPOA OFFICE OR PAY INVOICE ONLINE.

MAILING ADDRESS:
SUN WEST RANCH POA
3 GILDRED LN
CAMERON, MT 59720

EMAIL:
OFFICE@SUNWESTRANCHPOA.COM

3. CONCEPTUAL DESIGN REVIEW

THIS STEP ALLOWS THE ARC TO PROVIDE FEEDBACK REGARDING THE SITING OF THE HOME, GENERAL CHARACTERISTICS, AND INTEGRATION INTO THE RANCH LANDSCAPE. SWR INVITES UNIQUE DESIGN CONCEPTS AS LONG AS THE MATERIAL CHARACTER OF THE PROJECT IS OF HIGH QUALITY. TO BE SPECIFIC, THE DESIGN GUIDELINES REQUIRE THE USE OF NATURAL MATERIALS (SEE GLOSSARY) WITH SPECIFIC LIMITS ON THE USE OF COMPOSITE MATERIALS ON THE EXTERIOR. SWR ENCOURAGES FLAME RETARDANT MATERIALS AND MATERIALS OF EXCEPTIONAL LONGEVITY PROVEN IN THE MONTANA SUN AND SNOW.

THE FOLLOWING SHOULD BE INCLUDED IN THE CONCEPTUAL DESIGN REVIEW:

- PRIMARY HOUSE AND ACCESSORY BUILDINGS
- DECKS, TERRACES, WALKWAYS, PAVING, HARDSCAPE, AND DRIVEWAY
- CONCEPTUAL LANDSCAPE PLAN INDICATING THE SPECIES OF PLANT AND EXPECTED MATURE SIZE OF ALL PLANTING EXCEEDING 3 FEET.
- ANY ADDITIONAL LAND FEATURES, SUCH AS BERMS OR THE REUSE OF ANY EXCAVATED MATERIAL TO BE USED ON SITE.
- PLEASE SUBMIT TWO HARDCOPIES AND AN ELECTRONIC PDF FILE.

THE ARC WILL RESPOND IN WRITING WITHIN 45 DAYS AFTER THE APPLICATION HAS BEEN RECEIVED, PROVIDED THE SUBMITTAL IS DEEMED COMPLETE. NO RESPONSE IS NOT CONSIDERED AN APPROVAL.

4- PRELIMINARY DESIGN APPLICATION

UPON APPROVAL OF YOUR CONCEPTUAL DESIGN SUBMITTAL, YOU CAN PROCEED TO THE PRELIMINARY DESIGN APPLICATION WHICH INCLUDES A COMPLETE SET OF ACCURATE DOCUMENTS. THE SITE PLAN SHOULD BE FINALIZED, AND ALL DESIGN WORK COMPLETED IN PREPARATION FOR THE FINAL CONSTRUCTION DOCUMENTS.

REQUIRED SUBMITTALS:

- SITE SURVEY
- SITE PLAN INDICATING TREES TO BE REMOVED IN THE BUILDING ENVELOPE
- LANDSCAPE PLAN
- BUILDING PLANS
- ALL ELEVATIONS AND EXTERIOR MATERIALS
- SECTIONS AND DETAILS
- ROOF PLAN
- DRIVEWAY AND DRAINAGE PLAN
- STRUCTURAL ENGINEERING PLAN
- 3D RENDERINGS
- NIGHT SKY ORDINANCE LIGHTING SPECIFICATIONS
- NARRATIVE DETAILING DEVIATIONS FROM THE CONCEPT DESIGN SUBMITTAL
- PLEASE SUBMIT 2 HARD COPIES AND AN ELECTRONIC PDF FILE

5- PRELIMINARY DESIGN REVIEW

THE PRELIMINARY DESIGN REVIEW DRAWINGS WILL BE REVIEWED FOR COMPLIANCE WITH THE CONCEPT DESIGN SUBMITTAL. THE SITE PLAN AND DRAINAGE PLAN WILL BE REVIEWED CLOSELY FOR COMPLIANCE WITH THE LAND USE CLASSIFICATIONS AS DESCRIBED IN THIS GUIDE. THE PRELIMINARY DESIGN REVIEW SHOULD NOT FIND SUBSTANTIAL DEVIATION FROM THE CONCEPTUAL SUBMITTAL. THE ARC WILL RESPOND IN WRITING WITHIN 45 DAYS AFTER THE APPLICATION HAS BEEN RECEIVED, PROVIDED THE SUBMITTAL IS DEEMED COMPLETE. NO RESPONSE IS NOT CONSIDERED AN APPROVAL.

6 CONSTRUCTION DOCUMENT APPLICATION

UPON APPROVAL OF YOUR PRELIMINARY DESIGN, YOU CAN SUBMIT YOUR CONSTRUCTION DOCUMENTS FOR APPROVAL. PLEASE PROVIDE THE FOLLOWING SUBMITTALS FOR ARC REVIEW:

REQUIRED SUBMITTALS:

- STAMPED ARCHITECTURAL DRAWINGS AND SPECIFICATIONS
- STAMPED ENGINEERED GRADING PLAN AND DRAINAGE PLAN
- ENGINEERED DRIVEWAY PLAN
- STAMPED STRUCTURAL DRAWINGS
- UPDATED SAMPLE BOARDS AND SPECIFICATIONS OR SAMPLE IMAGES OF EXTERIOR MATERIALS
- SCHEDULE OF CONSTRUCTION START AND ANTICIPATED COMPLETION DATE
- ENGINEERED SEPTIC DESIGN DRAWINGS. THE PERMIT MAY BE IN PROCESS AS MADISON COUNTY ALLOWS CONSTRUCTION START PRIOR TO RECEIVING A SEPTIC PERMIT.
- PLEASE SUBMIT 2 HARD COPIES AND AN ELECTRONIC PDF FILE.

THE ARC WILL RESPOND IN WRITING WITHIN 45 DAYS AFTER THE APPLICATION HAS BEEN RECEIVED, PROVIDED THE SUBMITTAL IS DEEMED COMPLETE. NO RESPONSE IS NOT CONSIDERED AN APPROVAL.

7. LAND USE / SEPTIC PERMIT / CONSTRUCTION

UPON APPROVAL BY THE ARC AND IN CONJUNCTION WITH THE RECEIPT OF THE REQUIRED FORMS TO THE SWRPOA, YOU MAY APPLY FOR MADISON COUNTY LAND USE PERMIT AND SEPTIC PERMIT.

REQUIRED SUBMITTALS:

FOLLOWING APPROVAL OF CONSTRUCTION DOCUMENTS, 2 COPIES OF EACH OF THE FOLLOWING FORMS SHALL BE SUBMITTED TO THE ARC:

- SIGNED CONFORMANCE AGREEMENT
- SIGNED CONTRACTOR RULES
- SIGNED COMPLETENESS AGREEMENT/OCCUPANCY AGREEMENT

PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ON THE LOT, OWNER MUST PAY THE SWRPOA \$15,000 CONFORMANCE DEPOSIT.

- THE CONFORMANCE DEPOSIT IS INTENDED TO ENSURE COMPLETION OF CONSTRUCTION, INCLUDING LANDSCAPING, IN ACCORDANCE WITH THE SPECIFICATIONS OF FINAL PLANS APPROVED BY THE ARC PURSUANT TO ARTICLE VI, SECTION 5 OF THAT CERTAIN SECOND RESTATEMENT OF DECLARATION OF RESTRICTIONS FOR SUN WEST RANCH AND REVOCATION OF EARLIER RESTRICTIONS, RECORDED MARCH 23RD, 2009 AS DOCUMENT NO-130578, RECORDS FOR MADISON COUNTY, MONTANA (THE "DECLARATION").
- THE CONFORMANCE DEPOSIT HAS BEEN ADJUSTED TO \$15,000 FOR AN APPROPRIATE COST OF LIVING INDEX DESIGNATED BY THE SWRARC BASED ON THE SIGNIFICANTLY INCREASED COST OF LABOR AND MATERIALS SINCE THE RECORDING OF THE DECLARATION IN 2009.
- THE CONFORMANCE DEPOSIT WILL BE HELD FOR THE BENEFIT OF OWNER AND EITHER (i) REFUNDED TO THE OWNER IF THE SWRARC DETERMINES, IN ITS SOLE DISCRETION, THAT THE CONSTRUCTION, INCLUDING THE LANDSCAPING, HAS BEEN SATISFACTORILY COMPLETED PER THE APPROVED FINAL PLANS; OR (ii) USED TO COVER THE COST OF COMPLETING CONSTRUCTION.
- IF THE COST OF COMPLETING CONSTRUCTION EXCEEDS THE CONFORMANCE DEPOSIT, THE OWNER SHALL PAY THE EXCESS COST TO THE SWRPOA WITHIN FIVE (5) DAYS OF OWNER'S RECEIPT OF AN INVOICE FOR SUCH COSTS.
- IF THERE ARE FUNDS REMAINING AFTER COMPLETION OF THE CONSTRUCTION, THE SWRPOA SHALL PROMPTLY RETURN THE UNUSED PORTION OF THE CONFORMANCE DEPOSIT TO OWNER.
- IT IS THE RESPONSIBILITY OF THE OWNER AND THE OWNER'S REPRESENTATIVE TO ENSURE THAT THE CONSTRUCTION IS DONE IN COMPLIANCE WITH THE APPROVED FINAL PLANS AS WELL AS ANY/ALL APPLICABLE BUILDING CODES, INCLUDING THE IBC (INTERNATIONAL BUILDING CODE).
- UPON RECEIPT OF WRITTEN NOTICE THAT YOU HAVE COMPLETED CONSTRUCTION, A MEMBER OF THE ARC WILL COMPLETE AN INFORMAL WALK-THRU OF THE HOME AND SITE TO DETERMINE WHETHER THE CONSTRUCTION, INCLUDING THE LANDSCAPING, HAS BEEN SATISFACTORILY COMPLETED PER THE APPROVED FINAL PLANS.
- THE SWRARC WILL NOT CONSIDER YOUR CONSTRUCTION AND SITE WORK COMPLETE UNTIL ALL EXTERIOR FINISH AND LANDSCAPING WORK HAS BEEN COMPLETED.

8 OCCUPANCY

FOLLOWING SUCCESSFUL COMPLETION OF THE WALK-THRU, ARC WILL REFUND THE CONFORMANCE DEPOSIT TO THE OWNER. IN THE EVENT THAT A PORTION OF THE HOME OR LANDSCAPING IS NOT COMPLETE, A SMALL PUNCH-LIST MAY BE GENERATED THOUGH IT MAY NOT AFFECT THE REFUND OF THE CONFORMANCE DEPOSIT DEPENDING ON THE NATURE OF THE ISSUE.

IF THE HOMEOWNERS WISH TO OCCUPY THEIR HOME PRIOR TO ALL WORK BEING COMPLETED, THEY MAY APPLY FOR A PROVISIONAL CERTIFICATE OF OCCUPANCY PERMIT (SEE PAGE 71) FOR PERMIT AND AGREEMENT. THIS PERMIT IS USUALLY GRANTED WHEN LANDSCAPING IS INCOMPLETE DUE TO THE WEATHER.

HOW TO SUBMIT APPLICATION/FORMS

PLEASE MAIL SUBMITTALS TO THE SWRPOA OFFICE OR EMAIL TO THE ARC AND THE SWRPOA OFFICE. MAIL CHECKS TO THE SWRPOA OFFICE OR PAY INVOICE ONLINE.

MAILING ADDRESS:
SUN WEST RANCH POA
3 GILDRED LN
CAMERON, MT 59720

EMAIL:
OFFICE@SUNWESTRANCHPOA.COM

CONFLICTS:

BY FOLLOWING THE ARCHITECTURAL GUIDELINES CLOSELY, ENGAGING THE PROPER PROFESSIONALS AND ADHERING TO THE APPROVAL, REVIEW AND CONSTRUCTION SEQUENCE, THE DESIGN AND CONSTRUCTION OF YOUR NEW HOME WILL BE ASSURED TO RUN SMOOTHLY. HOWEVER, ON OCCASION PROBLEMS DO ARISE. THE PRIMARY TOOLS AVAILABLE FOR CAUSING RECTIFICATION OF CONDITIONS WHICH ARE OUTSIDE THE PARAMETERS OF THE ARCHITECTURAL REVIEW GUIDELINES AS SET FORTH AND THOSE OF THE PROTECTIVE COVENANTS SHALL BE THE ABILITY OF THE ARC TO ISSUE A STOP WORK ORDER TO THE CONTRACTOR OR DELAY ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. BY SIGNING THE CONFORMANCE AGREEMENT, EACH HOMEOWNER AGREES TO SUBMIT TO THE ARC'S STOP WORK ORDER UNTIL THE CONDITION OF NON-COMPLIANCE CAN BE RECTIFIED OR ADDRESSED. THE ARC, ITS MEMBERS AND SUN WEST PROPERTY OWNERS SHALL BE HELD HARMLESS TO ANY INCURRED COST OR DAMAGES SUBSEQUENT TO THESE ACTIONS. ALL COSTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER.

VARIANCE/DEVIATIONS

VARIANCES MAY BE GRANTED IN SOME CIRCUMSTANCES (INCLUDING, BUT NOT LIMITED TO, TOPOGRAPHY, NATURAL OBSTRUCTIONS, AESTHETIC OR ENVIRONMENTAL CONSIDERATIONS) WHEN DEVIATIONS MAY BE REQUIRED. THE ARC SHALL HAVE THE POWER TO GRANT A VARIANCE FROM STRICT COMPLIANCE IN SUCH CIRCUMSTANCES, SO LONG AS THE VARIANCE DOES NOT RESULT IN MATERIAL VIOLATION OF THE GUIDELINES. NO VARIANCE SHALL BE EFFECTIVE UNLESS IN WRITING.

MOVING OF THE CENTER PIN IS STRONGLY DISCOURAGED AND CAN ONLY BE DONE WITH APPROVAL OF BOTH THE ARC AND THE SWRPOA BOARD. IN CONSIDERING MOVING A CENTER PIN OR BUILDING ENVELOPE, THE ARC AND THE SWRPOA RECOGNIZES THE FOLLOWING:

- THE CC&RS SAY "ALL LOTS SHALL HAVE A PIN, PLACED BY MVP DECLARANT, WHICH LOCATES MVP DECLARANT'S DETERMINATION OF THE IDEAL CENTER LOCATION FOR A RESIDENCE. 90% OF THE MAIN RESIDENCE MUST BE WITHIN THE 100-125 FOOT RADIUS FROM THE PIN UNLESS THE ARC ALLOWS OTHERWISE."
- SUN WEST RANCH SUBDIVISION PLANNED UNIT DEVELOPMENT (PUD) PLAT MAPS IDENTIFY "SUGGESTED" HOME SITES.
- THE DEVELOPER WENT TO GREAT LENGTHS TO LOCATE EACH PIN CAREFULLY TO MINIMIZE THE VISIBILITY OF EACH HOUSE.
- THE DEVELOPER AND ARC HAVE ALLOWED PINS TO BE MOVED IN PRIOR YEARS BASED ON UNIQUE SITUATIONS.
- HOMES HAVE BEEN BUILT SUBSTANTIALLY OUT OF COMPLIANCE WITH THE STATED REQUIREMENT THAT 90 PERCENT OF THE HOME BE INSIDE OF THE BUILDING ENVELOPE.
- OVER THE YEARS, CONDITIONS MAY CHANGE (INCLUDING BUT NOT LIMITED TO FOREST DIE-OFF OR FOREST ENCROACHMENT) SUCH THAT MOVING A PIN IS APPROPRIATE.
- NEW INFORMATION ABOUT THE SPECIFIC VALUES OR RESOURCES PRESENT ON A SITE MIGHT COME TO LIGHT AND BE OF EQUAL IMPORTANCE TO MINIMIZING VISIBILITY SUCH THAT IT COULD WARRANT CONSIDERATION OF MOVING THE PIN.

IN ORDER TO MAINTAIN THE INTEGRITY OF SUN WEST RANCH AS CREATED BY THE ORIGINAL DEVELOPER, THE CENTER OF THE BUILDING ENVELOPE, REFERRED TO AS THE PIN, CANNOT BE MOVED WITHOUT: 1) CONSULTING NEARBY AND ADJACENT LOT OWNERS; 2) PROVIDING AN OPPORTUNITY FOR PUBLIC COMMENT; AND 3) RECEIVING THE APPROVAL OF THE ARC AND THE SWRPOA BOARD.



Architectural Guidelines

SUN WEST RANCH HAS A VARIETY OF DISTINCT LOTS ON WHICH TO BUILD. IN ORDER TO MAINTAIN THE CHARACTER ON THE RANCH WHICH EMPHASIZES THE NATURAL LANDSCAPE RATHER THAN THE HOMES BUILT ON IT, THE DEVELOPER AND THE ARC HAVE CAREFULLY REVIEWED EACH HOME SITE AND ESTABLISHED GUIDELINES FOR BUILDING HEIGHT, CONFIGURATION, INFORMATION AND BUILDING ENVELOPE, AS REFERENCED ON PAGE 11. YOUR ARCHITECT SHOULD PAY PARTICULAR ATTENTION TO THESE GUIDELINES WHEN CONTEMPLATING THE DESIGN OF YOUR NEW HOME.

MINIMUM HOME SIZE

THE REQUIRED MINIMUM HOME SIZE IS 2000 SQUARE FEET OF ENCLOSED FINISHED / LIVING SPACE, AS DEFINED IN THE DEFINITION SECTION OF THE DRG (PAGE 62).

BUILDING HEIGHT, PROFILE & AVERAGE NATURAL GRADE:

THE NUMBER OF STORIES AND THE PROFILE OF THE BUILDING SHARE AN IMPORTANT RELATIONSHIP WITH THE TERRAIN. MULTI-LEVEL DESIGNS MUST FOLLOW THE GENERAL SLOPE OF THE SITE. THE INTENT OF THIS GUIDELINE IS TO KEEP BUILDING HEIGHT AND PROFILE IN SCALE WITH SURROUNDING FEATURES. THE ARC HAS DESIGNATED BUILDING HEIGHT AND CONFIGURATION FOR EACH LOT (PAGE 11).

THE MAXIMUM BUILDING HEIGHT IS ESTABLISHED BASED ON THE AVERAGE NATURAL GRADE AT EVERY POINT ALONG THE FOUNDATION. THIS HEIGHT IS ESTABLISHED BY USING 3D MODELING SOFTWARE OR SIMPLY CALCULATING THE AVERAGE NATURAL GRADE AROUND THE PERIMETER OF THE PROPOSED BUILDING. FOR EXAMPLE, IF THE BUILDING IS 100' LONG AND THE GRADE DROPS 5' ACROSS THE LENGTH OF THE BUILDING, THEN THE MAXIMUM HEIGHT OF THE BUILDING IS MEASURED FROM 2.5' BELOW THE TOP OF THE ESTABLISHED MAIN LEVEL FLOOR ELEVATION. CHIMNEYS ARE EXCLUDED FROM THIS MEASUREMENT. THE FINISHED GRADE IS THE FINAL GRADE OF ALL LANDSCAPING INCLUDING HARDSCAPES, TERRACES, PLANTINGS AND SOIL.



DESIGNATED BUILDING ENVELOPE AND CENTER PIN:

NINETY PERCENT OF THE MAIN RESIDENCE MUST BE WITHIN THE DESIGNATED RESIDENTIAL AREA AS SELECTED BY THE ORIGINAL DEVELOPER AND SPECIFIED IN LOT INFORMATION ON PAGE 11 OF THIS DESIGN GUIDE. LOT INFORMATION DESIGNATES HOME SITE RADIUS FROM CENTER PIN AND HOW MANY STORIES EACH BUILDING MAY HAVE. IN ORDER TO MAINTAIN THE INTEGRITY OF SUN WEST RANCH, THE CENTER OF THE BUILDING ENVELOPE, REFERRED TO AS THE PIN, CANNOT BE MOVED WITHOUT THE APPROVAL OF BOTH THE ARC AND THE SWRPOA BOARD AFTER AN OPPORTUNITY FOR PUBLIC COMMENT (SEE VARIANCE/DEVIATIONS- PAGE 20).

THE SHAPE OF THE BUILDING ENVELOPE MAY BE CHANGED EITHER TO ACCOMMODATE THE BUILDING GOALS OF THE HOMEOWNER OR IN RECOGNITION OF THE CHANGED LANDSCAPE, UNSTABLE SOILS OR TO MITIGATE DAMAGE TO EXISTING LANDFORMS OR TREES. CHANGING THE SHAPE OF THE ENVELOPE CAN ONLY BE DONE WITH THE APPROVAL OF THE ARC AND THE SWRPOA BOARD. PRIMARY CONSIDERATION WILL BE GIVEN TO THE IMPACT OF ANY CHANGE ON NEARBY AND ADJACENT LOT OWNERS. THE BOARD WILL CONSULT NEARBY AND ADJACENT LOT OWNERS IF ENVELOPE CHANGES INCREASE VISIBILITY OF BUILDING PLANS.

THE MINIMUM SETBACK FROM ANY PROPERTY LINE TO ANY BUILDING IS 50' OR AS APPROVED BY THE ARC.

ALL BUILDINGS MUST BE 100' FROM THE MAIN ROADS.



RIDGE LINE / EXPOSED SITES

THOSE LOTS WHICH ARE ON AN EXPOSED SITE OR RIDGE LINE SHALL RECEIVE ADDITIONAL SCRUTINY BY THE ARC AND MAY REQUIRE ADDITIONAL LANDSCAPING IN ORDER TO ENSURE THAT THE NEW STRUCTURE DOES NOT BECOME THE DOMINANT FEATURE OF THE SITE.

LOWER EXPOSED SITES SHOULD

- PRESERVE NATURAL MEADOWS AND CLEARINGS.
- PRESERVE NATURAL DRAINAGE FEATURES.
- STAY BELOW AVERAGE TREE HEIGHT ON THE ENTIRE LOT.
- BE SCREENED FROM ROAD WITH NATURAL VEGETATION.
- MAXIMIZE USE OF EXISTING VEGETATION.

UPPER SIDE HILL SITES- SHOULD

- NOT CREATE A SILHOUETTE
- MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE
- FOLLOW CONTOURS WITH DRIVEWAY
- MAINTAIN OPEN ROLLING CONTOURS

FIT GARAGE DOWN INTO SITE.

NOT CREATE A SILHOUETTE

ROAD

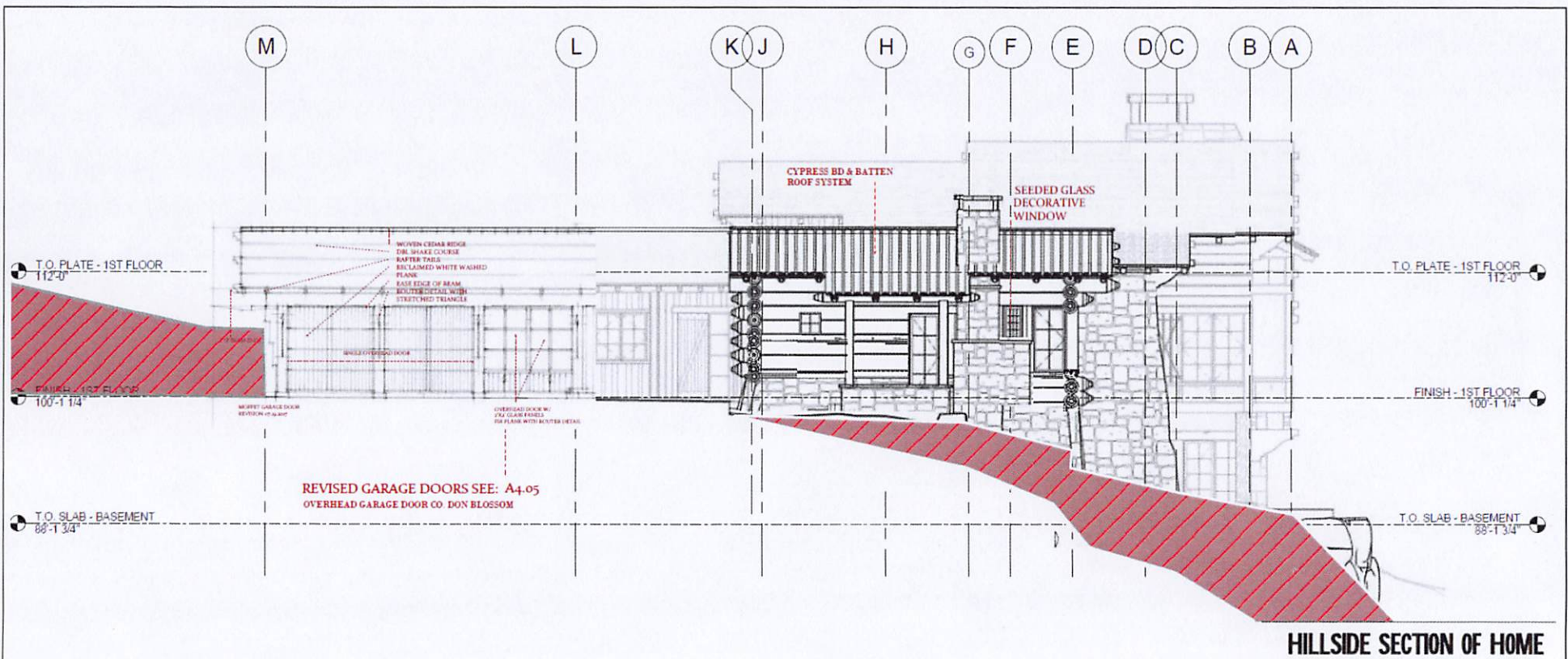
MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE.
USE RETAINING WALLS TO LESSEN BUILDING HEIGHT.

MODERATE SLOPE @ DRIVEWAY (FOLLOW CONTOURS)

ROAD

100' SETBACKS
(NTC)





HILLSIDE SECTION OF HOME

UPPER BENCHES SHOULD

- PRESERVE AND MAXIMIZE EXISTING NATURAL VEGETATION (TREES).
- MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE.
- FOLLOW CONTOURS WITH DRIVEWAY.

HILLSIDE SITES SHOULD

- MAINTAIN LOW PROFILE OR BURY INTO HILLSIDE.
- STEP ROOFLINE DOWN WITH GROUND SLOPE.
- FOLLOW CONTOURS WITH DRIVEWAY.
- USE RETAINING WALLS TO LESSEN BUILDING HEIGHT.
- FIT GARAGE DOWN INTO SITE.



UPLAND SITE

UPLAND WOODED SITES AT RIDGES SHOULD

- NOT CREATE A SILHOUETTE WHICH DOMINATES THE SKYLINE
- PRESERVE NATURAL FEATURES (TREES, ROCK, NATURAL CONTOURS)
- 100 FT SETBACK FROM MAIN ROAD

GRADING AND DRAINAGE

THE INTENT AND GOALS OF THE LAND PLANNERS ARE TO PRESERVE THE NATURAL EXISTING TOPOGRAPHY AND MAINTAIN THE DELICATE SYSTEM OF NATURAL DRAINAGE STRUCTURES, WASHES AND CREEK BEDS.

TO ENSURE A SENSITIVE PLACEMENT OF ALL ROADS AND BUILT STRUCTURES, EACH HOMEOWNER WILL BE REQUIRED TO HAVE A LICENSED ENGINEER DEVELOP A GRADING AND DRAINAGE PLAN WHICH SPECIFIES CUT AND FILL IN ORDER TO MINIMIZE IMPACT TO THE IMMEDIATE AND SURROUNDING SITES.

ANY IMPROVEMENTS THAT HAVE BEEN MADE BY THE DEVELOPER WERE CAREFULLY PLANNED TO MINIMIZE DISRUPTION TO THE EXISTING ECOSYSTEM OR ALTERATION TO THE TOPOGRAPHY. THE DESIGNATED BUILDING ENVELOPES HAVE BEEN LOCATED TO MINIMIZE GRADING AND TO AVOID THE PRIMARY EXISTING NATURAL DRAINAGE SYSTEMS. THESE RECOMMENDATIONS MUST BE CARRIED THROUGH TO ALL LEVELS OF DEVELOPMENT INCLUDING INDIVIDUAL HOME SITES.

COMPLIANCE WITH THESE GUIDELINES WILL BE REVIEWED IN THE DESIGN REVIEW PROCESS AND IN THE FIELD DURING CONSTRUCTION.

GRADING AND DRAINAGE PLANS MUST BE DESIGNED AND STAMPED BY A MONTANA CIVIL ENGINEER.

LEGEND

X(100.00)	EXISTING SPOT ELEVATION
X(100.00)	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING LG POWER BOX
[Symbol]	EXISTING TELEPHONE BOX
[Symbol]	EXISTING UTILITY BOX
[Symbol]	EXISTING SANITARY SEWER MANHOLE
[Symbol]	EXISTING STORM SEWER MANHOLE
[Symbol]	EXISTING SANITARY SEWER CLEANOUT
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING CURB STOP
[Symbol]	EXISTING WATER WELL
[Symbol]	EXISTING TREE
[Symbol]	EXISTING TREE TO BE REMOVED
[Symbol]	PROPOSED WATER VALVE
[Symbol]	PROPOSED CURB STOP
[Symbol]	PROPERTY BOUNDARY LINE
[Symbol]	SURROUNDING PROPERTY LINE
[Symbol]	SETBACK LINE
[Symbol]	EASEMENT LINE
[Symbol]	EXISTING UNDERGROUND ELECTRIC LINE
[Symbol]	EXISTING GAS LINE
[Symbol]	EXISTING UNDERGROUND PHONE LINE
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING SANITARY SEWER MAIN
[Symbol]	EXISTING STORM SEWER
[Symbol]	PROPOSED WATER SERVICE
[Symbol]	PROPOSED SANITARY SEWER SERVICE
[Symbol]	PROPOSED STORM SEWER
[Symbol]	PROPOSED UNDERGROUND ELECTRIC LINE
[Symbol]	PROPOSED GAS LINE
[Symbol]	PROPOSED UNDERGROUND PHONE LINE
[Symbol]	PROPOSED SWALE/RETENTION POND CONTOUR

LEGAL DESCRIPTION

LOT 32, SUB WEST SUBDIVISION (PLAT 4788-4)
LOCATED IN THE NE 1/4, SEC. 20, T. 10 S., R. 1 E. OF PLANK,
MADISON COUNTY, MONTANA

SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING
SPECIFICATIONS WHICH ARE HEREBY INCORPORATED BY
REFERENCE:
1. MONTANA PUBLIC WORKS STANDARD
SPECIFICATIONS, EIGHTH EDITION (APRIL 2010)

OWNER

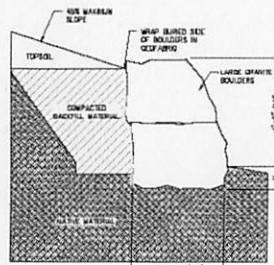
KURT & SHELLEY LAMKOWITZ
4800 OLDFIELD DR.
COLUMBIA, OH 43090-2840

DEVELOPMENT ADDRESS

ELK RIDGE RD., CAMDEN, MT 59703

GENERAL NOTES

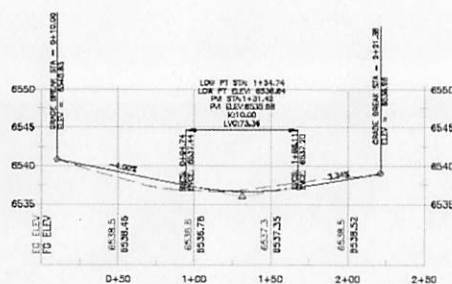
1. ALL CONSTRUCTION SHALL CONFORM TO MPMRS, 2010 EDITION INCLUDING ANY ADDENDUMS.
2. NO CHANGE OF MODIFICATION OF THE APPROVED PLANS AND SPECIFICATIONS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL BURIED UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. THE OWNER SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION.
5. BRUSH BACKFILL SHALL BE TYPE A, FOR ALL AREAS TO BE FENCED.
6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT THE PROJECT MEETS ALL CDMA REQUIREMENTS AND THAT THE SITE MEETS ALL APPLICABLE SAFETY REQUIREMENTS BOTH FOR HIS EMPLOYEES AND ANY SITE VISITORS. WORK PERFORMED BY THE CONTRACTOR ON-BE-UTLITIES-GROUND ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LINE AND GRADE OF EXISTING CONNECTIONS.
7. A REDUCED PRESSURE BACKFLOW PREVENTER SHALL BE INSTALLED ON THE WATER SERVICE LINE PRIOR TO CONNECTION WITH THE PUBLIC WATER SUPPLY.
8. A REDUCED PRESSURE BACKFLOW PREVENTER SHALL BE INSTALLED ON ALL IRRIGATION SYSTEMS, NOT SUB CONNECTIONS, AND FIRE PROTECTION SPRINKLER SYSTEMS.
9. GENERAL SITE CUT/FILL REQUIREMENTS: FILL=2100 C.Y.D.



- NOTES:
1. RETAINING WALL MUST BEAR ON MOTIVE UNDISTURBED SOIL.
 2. FIRST BOLLER MUST BE THE LARGEST AND NOTES TO BE PLACED 1/2 OF ITS HEIGHT 8.5 (D).
 3. MAXIMUM HEIGHT OF LANDSCAPE BOLLER WALL SHALL BE 4 FEET.

2 BOLLER WALL DETAIL

SCALE: NTS

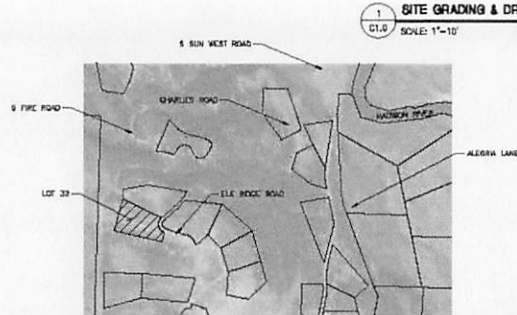


DRIVEWAY ALIGNMENT (STA 0+00 TO 2+50)

3 DRIVEWAY PROFILE

SCALE: 1"=10' HORIZONTAL
1"=5' VERTICAL

LOT C-1
GENERAL COMMON AREA



4 VICINITY MAP

SCALE: 1"=500'

1 SITE GRADING & DRAINAGE PLAN

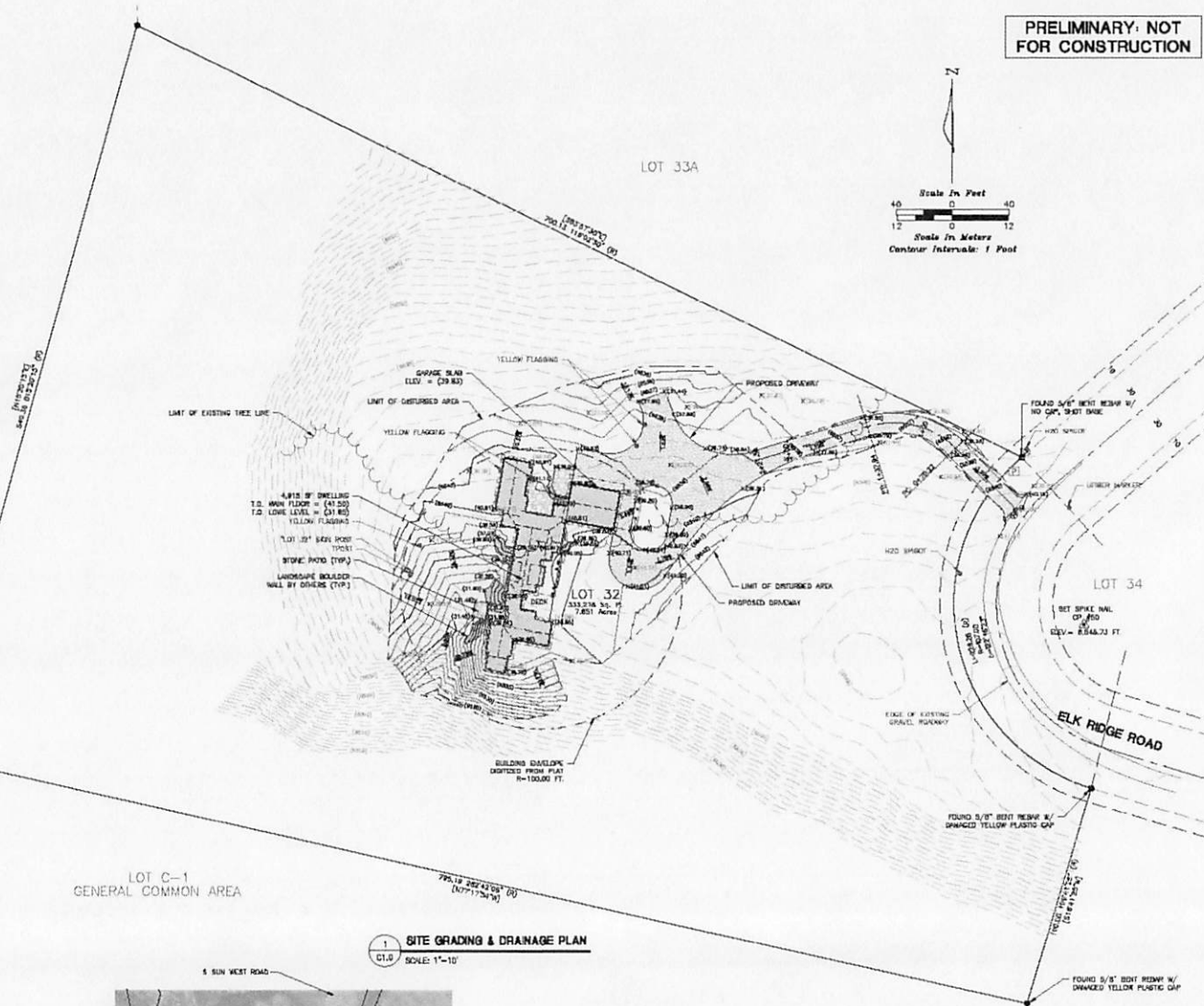
SCALE: 1"=10'

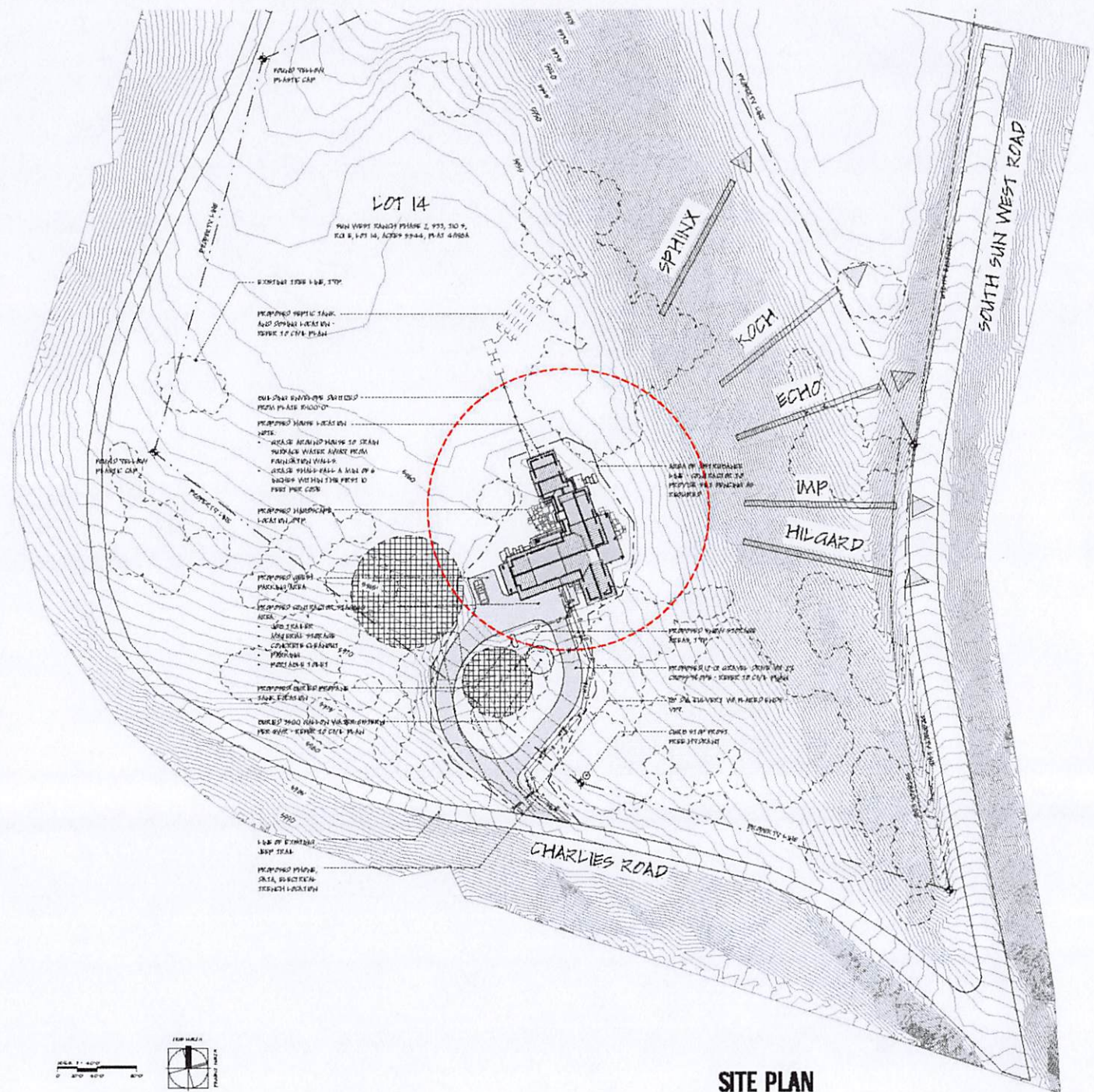
5 DRIVEWAY SECTION

SCALE: NTS

GRADING & DRAINAGE PLAN

PRELIMINARY: NOT
FOR CONSTRUCTION





LANDSCAPING AND VEGETATION

THE GOAL AND INTENT OF THESE GUIDELINES IS TO AID YOU IN PROTECTING AND ENHANCING THE EXISTING LANDSCAPE AND VEGETATION. PRESERVATION OF EXISTING NATIVE SPECIES IS PARAMOUNT, AND ALL PLANS FOR IMPROVEMENT MUST RESPECT EXISTING TREE LOCATIONS, ESPECIALLY MATURE SPECIMENS. ON THOSE LOTS WHICH ARE LOCATED IN HIGH VISIBILITY LOCATIONS, RIDGE LINES OR LOTS WITHOUT MATURE VEGETATION, IT IS IMPORTANT TO SOFTEN THE IMPACT OF NEW STRUCTURES. MATURE VEGETATION WILL BE AN IMPORTANT COMPONENT TO THE OVERALL DESIGN IN ORDER TO DIMINISH THE IMPACT TO THE VIEWSCAPE.

ALL LANDSCAPING IS TO HAVE A PROFESSIONALLY INSTALLED IRRIGATION SYSTEM SUFFICIENT TO ENSURE THE HEALTH OF THE PLANTED MATERIALS. REGARDLESS OF THE LANDSCAPE PLANS, AN IRRIGATION SYSTEM IS REQUIRED TO BE INSTALLED AROUND ALL STRUCTURES. THIS SYSTEM MUST HAVE SPRINKLERS ABLE TO WET A 50' DISTANCE AROUND ALL SIDES OF THE BUILDING TO PROVIDE A GREEN BUFFER ZONE IN THE EVENT OF A DRY/HIGH FIRE SEASON. FOR BEST FIRE PROTECTION, 100' IRRIGATION SYSTEM MAY BE RECOMMENDED. ALL EVERGREEN TREES SHALL BE LIMBED TO A MINIMUM OF 4' ABOVE GRADE. THE BUFFER AND LIMBING WILL ACT AS A DETERRENT IN CASE OF GRASS FIRES ON THE RANCH.

LANDSCAPE PROFESSIONALS CAN BEST IDENTIFY APPROPRIATE PLANT SPECIES FOR SPECIFIC LOCATIONS, SOILS AND WIND. THEY CAN ALSO IDENTIFY DROUGHT RESISTANT NATIVE GRASSES FOR LAWNS AND FOR AREAS THAT ARE INFREQUENTLY MOWED*.

A FIRE-RESISTANT LANDSCAPE PLAN SHOULD CONSIDER THREE DISTINCT ZONES:

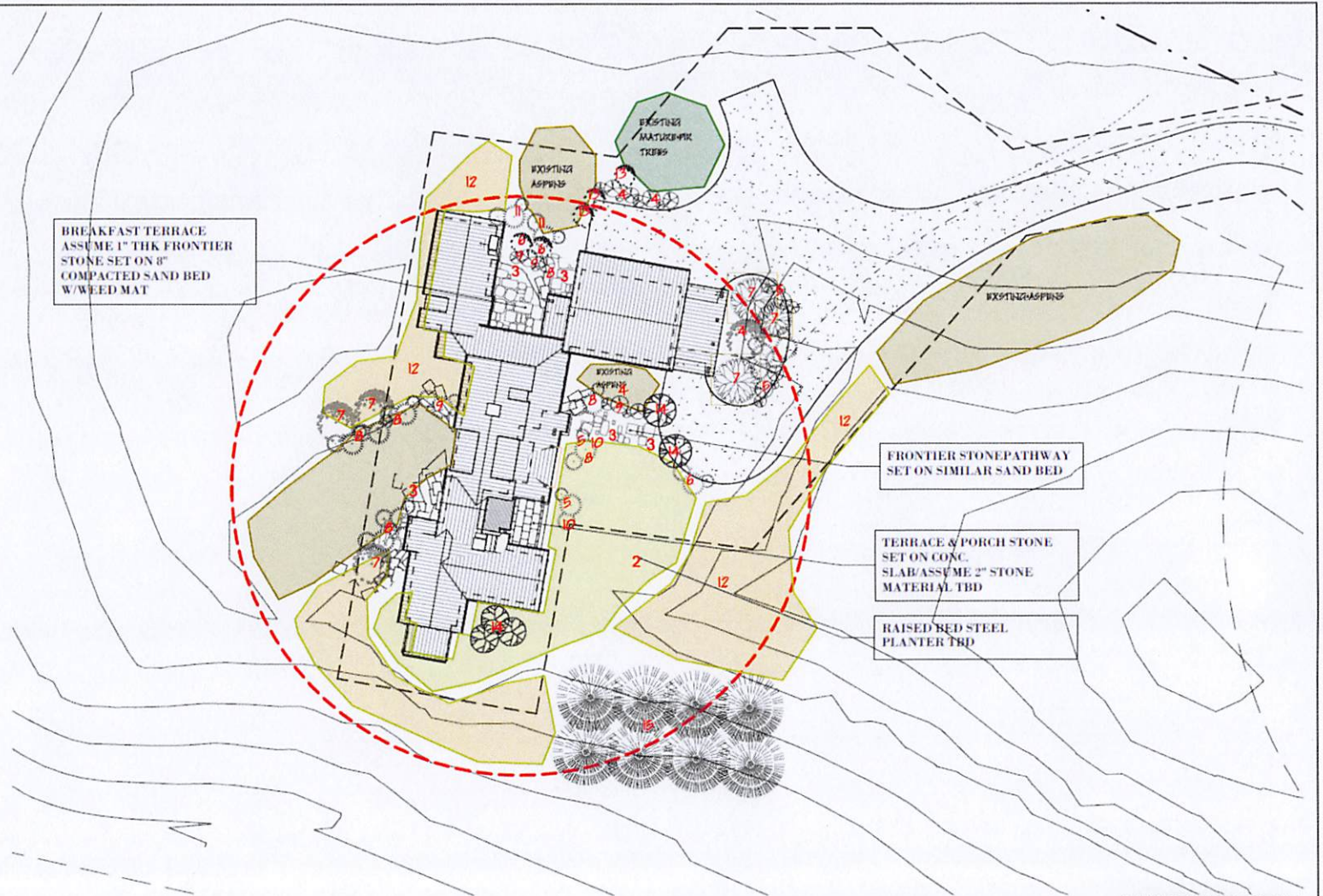
- ZONE 1 COMPRISES AN IRRIGATED AREA OF 50' AROUND ALL STRUCTURES AND INCLUDES TERRACES, ROCK MULCH, PLANTING BEDS, MOWED GRASSES AND FIRE-RESISTANT SHRUBS AND PLANTS.
- ZONE 2 COMPRISES AN AREA 50-100' FROM ALL STRUCTURES AND INCLUDES A MIX OF NATIVE GRASSES, SMALL TREES AND SHRUBS. DEPENDING UPON SURROUNDING VEGETATION AND ASPECT, THIS AREA MAY ALSO BE IRRIGATED.
- ZONE 3 IS A FIRE DEFENSIBLE SPACE FROM 100 - 200' FROM ALL STRUCTURES. ALL TREES NEED TO BE LIMBED UP AND MAY NEED TO BE THINNED.

YOUR LANDSCAPE PLAN MUST ALSO PROVIDE FOR:

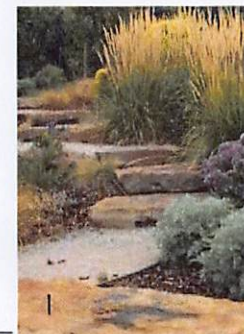
- DROUGHT RESISTANT NATIVE GRASSES FOR LAWNS - SEE NOTES REGARDING MULIT-FAMILY WATER SYSTEMS (PAGE 59).
- THE REVEGETATION OF ALL DISTURBED AREAS
- MAINTENANCE OF EXISTING DRAINAGE PATTERNS
- PROVIDING EROSION CONTROL AS NEEDED
- NIGHT SKY COMPLIANT LIGHTING



*MORE INFORMATION REGARDING FIRE RESISTANT LANDSCAPE PLANNING AND
*RECOMMENDED PLANT SPECIES CAN BE FOUND IN THE APPENDIX OF THIS GUIDE.



LANDSCAPE PLAN



TREE REMOVAL*

FOR PROPOSED TREE REMOVALS:

- BRIGHT PINK FLAGGING WITH A SINGLE BAND ON ALL TREES GREATER THAN 4" IN DIAMETER WITHIN THE BUILDING ENVELOPE
- BRIGHT GREEN FLAGGING WITH A DOUBLE BAND ON ALL TREES GREATER THAN 8" IN DIAMETER OUTSIDE THE BUILDING ENVELOPE
- WHERE REMOVAL OF PROMINENT CLUSTERS OR GROVES IS PROPOSED, WRAP FLAGGING TAPE AROUND ENTIRE GROUP. FOR TREES TO BE SAVED WITHIN DISTURBED AREAS, WRAP WHITE FLAGGING ON ALL TREES WITH HANDWRITTEN NOTE "SAVE". PRIOR TO THE SITE INSPECTION, THE OWNER IS TO SUBMIT PLANS, DETAILS, AND SPECIFICATIONS FOR PROPOSED TREE PROTECTION AND MAINTENANCE DURING CONSTRUCTION AND PERMANENT IMPROVEMENTS SUCH AS TREE WELLS, AERATION SYSTEMS, ETC. FOR TREES TO BE SAVED WITHIN DISTURBED AREAS

THE ARC WILL REVIEW BOTH THE FLAGGING ON SITE AND THE PLANS WITH THE OWNER, AND WILL NOTIFY THE OWNER OF ITS FINDINGS. FLAGGING ON TREES IS TO BE CHANGED AS DIRECTED BY THE ARC AND LEFT IN PLACE ON TREES TO BE SAVED FOR THE DURATION OF THE CONSTRUCTION PROCESS.

THE FINAL WORKING DRAWINGS ARE TO INCLUDE EXISTING TREES OR TREE GROUPS TO BE SAVED ON THE SITE PLANS AND LANDSCAPE PLANS ALONG WITH THE PREVIOUSLY REVIEWED AND APPROVED DOCUMENTS FOR TREE PROTECTION, MAINTENANCE, FERTILIZATION, AND PERMANENT IMPROVEMENTS SUCH AS TREE WELLS, AERATION SYSTEMS, ETC.

* THE OWNER'S SITE PLAN SERVES AS THE APPLICATION FOR TREE REMOVAL.

ANY PERSON WHO REMOVES, DESTROYS, OR SIGNIFICANTLY DAMAGES A TREE OF EIGHT (8) INCHES CALIPER OR MORE, BEYOND THE REASONABLE LIMITS OF CONSTRUCTION OR OUTSIDE THE PARCEL, SHALL BE LIABLE TO THE ARC FOR THE SUM OF UP TO \$1,000 FOR EACH TREE DESTROYED AND WILL BE REQUIRED TO PLANT A MINIMUM 24" BOX SIZE TREE OF A SIMILAR SPECIES AS APPROVED BY THE ARC AS A REPLACEMENT.

THE ARC MAY AUTHORIZE THE REMOVAL OF TREES IN THE EVENT A TREE IS DISEASE-BEARING OR POSES A THREAT TO HEALTH AND SAFETY. THIS DOES NOT PRECLUDE THE SWRARC FROM REQUIRING ADDITIONAL TREES TO BE REPLANTED AS FURTHER RESTITUTION TO THE IRREPARABLE DAMAGE CAUSED BY THE UNAUTHORIZED DESTRUCTION OF TREES.

INTENTIONAL OR UNINTENTIONAL REMOVAL OF/OR DAMAGE TO ANY TREES WITHOUT PRIOR APPROVAL BY THE ARC IS A VIOLATION OF THE COVENANTS AND APPROPRIATE REMEDIES WILL BE INVOKED.

FOREST MANAGEMENT

SUN WEST RANCH IS COMMITTED TO MANAGING ITS FORESTS TO MINIMIZE DISEASE, CREATE FIRE RESILIENCE AND ENHANCE THE VIGOR OF THE ASPEN GROVES. LOT OWNERS ARE ENCOURAGED TO MAKE A PLAN FOR MANAGING THEIR FOREST OUTSIDE OF THE BUILDING ENVELOPE. FIRE RISK MANAGEMENT STRATEGIES CAN BE FOUND IN THE APPENDIX. DEPENDING ON THE TYPE OF VEGETATION, THE FOLLOWING STEPS SHOULD BE CONSIDERED:

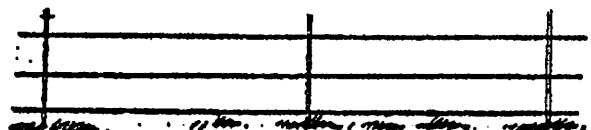
- CONTACT THE ARC, THE RANCH MANAGER OR THE RANCH FORESTER TO ASSESS WHAT STEPS TO TAKE TO MANAGE YOUR NATIVE VEGETATION.
- THE RANCH MANAGER CAN ASSIST WITH TASKS SUCH AS LIMBING UP TREES, MOWING GRASSES OR REMOVING SAGEBRUSH IF TOO CLOSE TO BUILDINGS.
- CONSULT WITH THE RANCH FORESTER TO ASSESS TREES AND MAKE A PLAN FOR FOREST HEALTH, FOR FIRE MITIGATION, AND FOR PRESERVING YOUR VIEWS WHILE SCREENING YOUR HOME AND BUILDING FROM YOUR NEIGHBORS. THE FORESTER WILL MARK TREES TO BE REMOVED AND PREPARE THE SITE WITH FLAGGING FOR ARC REVIEW. THE ARC WILL WORK CLOSELY WITH THE FORESTER AND STRONGLY SUPPORTS THE LANDOWNER HAVING A PLAN FOR MANAGING THEIR FOREST. TREES WILL BE MARKED FOR CUTTING AS DESCRIBED IN THIS GUIDE. THE OWNER MAY PROVIDE A SITE PLAN WITH TREE AREAS MARKED AND TREATMENT DESCRIBED. WHEN APPROVED THIS PLAN WILL BE KEPT AT THE OFFICE FOR FUTURE CONSULTATION.

FENCES/ PRIVACY SCREENS

SOLID FENCES ARE NOT PERMITTED ON PARCELS WITHIN THE SUN WEST RANCH. ALL FENCES MUST BE APPROVED BY THE ARC. SMOOTH WIRE FENCES OR LOG FENCES WILL BE ENCOURAGED AND JACK LEG OR BARBED WIRE FENCES WILL BE DISCOURAGED.

PRIVACY SCREENS MIGHT BE USED IN CONJUNCTION WITH A PERSONAL HOT TUB OR SUNNING DECK. THE SCREENING SHOULD BE CONSISTENT WITH THE OVERALL DESIGN OF THE EXISTING BUILDING. MATERIALS AND COLORS USED FOR THE SCREEN SHOULD COMPLIMENT THOSE USED FOR THE EXTERIOR OF THE RESIDENCE. THE SCREEN SHOULD NOT BE TALLER THAN THE ROOF EAVE.

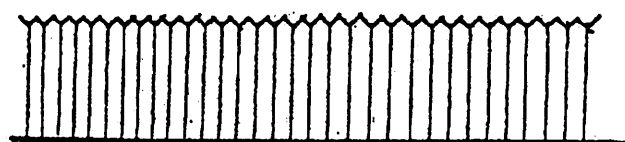
NATURAL PLANTING SHOULD BE USED TO MASK THE FENCE AND ITS LOCATION ON THE SITE SHOULD BE SELECTED TO MINIMIZE ITS VISIBILITY FROM THE ROAD AND SURROUNDING PROPERTIES.



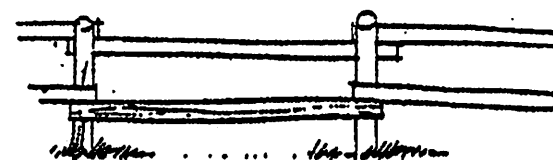
ALLOWED ONLY WHERE NOT EASILY
SEEN



DISCOURAGED



NOT ALLOWED



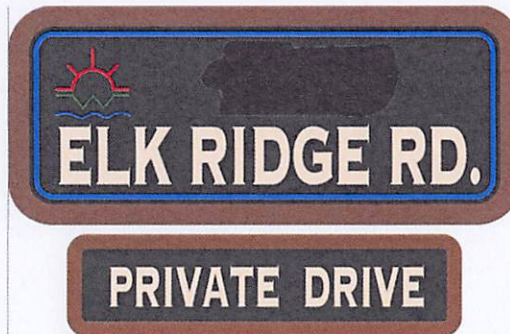
ENCOURAGED

DRIVEWAY ENTRANCES

SUN WEST RANCH HAS STANDARDIZED ADDRESS SIGNS FOR EACH LOT. THE NUMBERS RELATE TO THE DISTANCE FROM THE MAIN GATE. THE LOT OWNER CAN CONTACT THE SWR OFFICE TO SOURCE THESE SIGNS. THE RANCH MANAGER WILL ASSIST IN PLACING THESE SIGNS WITH CONSIDERATION FOR SNOW ACCUMULATION AND PLOWING.

DRIVEWAY ENTRANCES FROM THE MAIN ROADS ARE TO BE MARKED WITH THESE ADDRESS SIGNS. NATURALLY PLACED LOCAL ROCKS MAY ALSO MARK A DRIVEWAY AFTER CONSULTATION WITH RANCH MANAGER. STAND ALONE ENTRANCE STRUCTURES THAT ARE NOT PART OF THE NATURAL LANDSCAPE ARE NOT ALLOWED.

FENCING AND GATES MUST BE APPROVED BY THE ARC AND SHOULD BE MINIMALIST IN DESIGN.

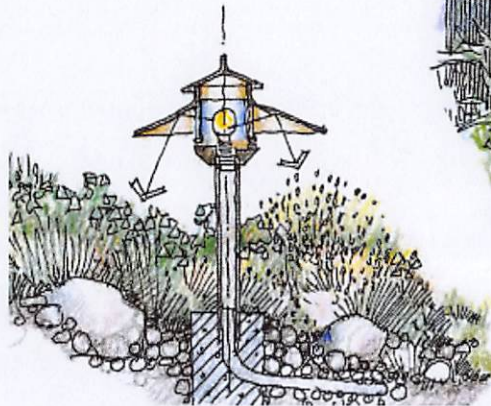


EXTERIOR LIGHTING

NIGHT LIGHTING SURROUNDING A DWELLING MAY BE NECESSARY FOR SAFETY ALONG WALKWAYS, DECKS, ENTRYWAYS AND DRIVEWAYS. LIGHTING SHOULD BE OBSCURED SO AS NOT TO IMPOSE ON NEIGHBORS AND TO HELP MAINTAIN A SUBDUED APPEARANCE TO THE AREA. DOWN-LIGHT FIXTURES THAT ILLUMINATE INDIRECTLY AND ARE SHIELDED, RECESSED, OR DIRECTIONAL WILL SAFELY LIGHT AREAS. DRIVEWAYS AND WALKWAYS CAN BE ILLUMINATED ALONG THEIR EDGES WITH FIXTURES THAT ARE CLOSE TO THE GROUND. ORNAMENTAL LIGHTING IS DISCOURAGED EXCEPT FOR HOLIDAY PERIODS.

THE STANDARD POWER COMPANY HALOGEN NIGHT LIGHTS ARE NOT ALLOWED. ALL OUTDOOR LIGHTING FIXTURES ARE TO BE APPROVED BY THE ARC.

ALL EXTERIOR LIGHTING SHOULD COMPLY WITH DARK SKY GUIDELINES. DARK SKY DESIGNATED LIGHT FIXTURES CAN BE FOUND EXTENSIVELY AT MULTIPLE AFFORDABLE PRICE POINTS. IN ESSENCE ALL UPLIGHTING HAS BEEN REMOVED, AND THE SHROUD AROUND THE BULB IS SEMI-OPAQUE.



OUTDOOR FURNISHINGS

OUTDOOR FURNISHINGS ARE CONSIDERED AN EXTENSION OF ARCHITECTURE THAT BECOMES PART OF THE LANDSCAPE. WHETHER THE FURNITURE IS PERMANENTLY FIXED IN POSITION OR PORTABLE, CAREFUL CONSIDERATION OF MATERIALS, COLOR, DESIGN, SIZE AND LOCATION SHOULD BE GIVEN TO REMAIN CONSISTENT WITH THE OVERALL BUILDING AND SITE DESIGN. COLORS OF AWNING, UMBRELLAS AND OUTDOOR FURNISHINGS SHOULD BE EARTH TONES SELECTED TO BE HARMONIOUS TO THE OVERALL LOOK OF THE PROPERTY. OUTDOOR CLOTHESLINES ARE NOT PERMITTED.

TENNIS COURTS

SOME LOTS HAVE AN APPROPRIATE SITE FOR A TENNIS COURT. IN GENERAL, THEY SHOULD BE BUILT IN A MANNER AND LOCATION THAT DOES NOT REQUIRE EXTENSIVE GRADING, TREE REMOVAL OR CONSTRUCTION OF RAISED DECKS WITH RETAINING WALLS. DESIGN AND COLOR OF FENCING MATERIALS SHOULD BLEND NATURALLY INTO THE SURROUNDING AREA. PLANT MATERIALS SHOULD BE ADDED WHERE NECESSARY TO SOFTEN THE VISUAL IMPACT. SURFACE COLORS MUST BE APPROVED BY THE ARC AND SHOULD BE RESTRICTED TO SOFT REDS AND GREENS OR NEUTRAL COLORS AND SHOULD NOT BE HIGHLY REFLECTIVE. TENNIS COURTS SHOULD BE SCREENED FROM ADJACENT PROPERTIES WITH THE USE OF NATURAL PLANT MATERIALS AND A MINIMUM SETBACK OF 50 FT FROM THE PROPERTY LINES.

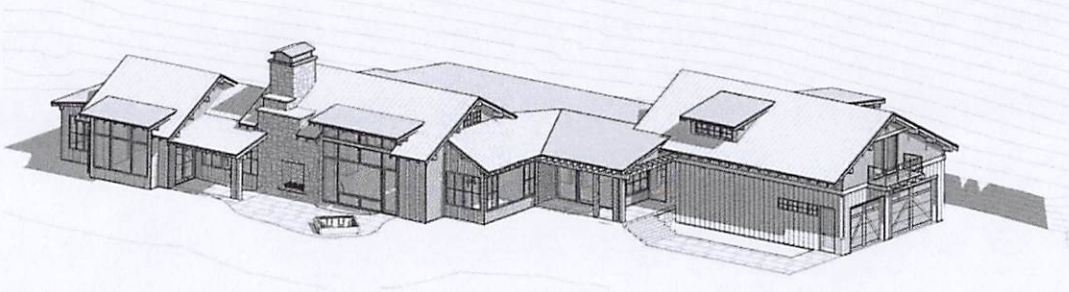
NIGHT LIGHTING OF TENNIS COURTS IS PROHIBITED. THE ARC WILL MAKE A FINAL DETERMINATION OF WHETHER EACH SITE IS SUITABLE FOR THE PLACEMENT OF A TENNIS COURT. SOME LOTS MAY BE PROHIBITED FROM HAVING TENNIS COURTS.

GARAGES

BECAUSE OF THEIR SIZE, GARAGES OFTEN TEND TO DOMINATE THE FRONT FAÇADE OF A DWELLING. CREATIVE AND SENSITIVE GARAGE PLACEMENT SHOULD BE EXPLORED SO THAT, WHERE FEASIBLE, A GARAGE SHOULD BE INCORPORATED INTO THE PLAN WITHOUT DETRACTING FROM THE OVERALL RESIDENCE.



ENCOURAGED:
GARAGE CONCEALED
BY LANDSCAPING &
INCORPORATED
WITHIN OVERALL
ROOF FORM.

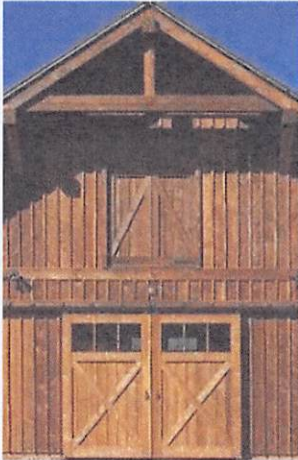


DISCOURAGED:
GARAGE
DOMINATES
STREET FAÇADE.

EACH DWELLING UNIT IS RECOMMENDED TO HAVE AT LEAST A TWO CAR GARAGE AND ALL DWELLINGS MUST HAVE OFF STREET PARKING FOR AT LEAST 2 CARS. CONSIDERATION SHOULD BE GIVEN TO THE STORAGE OF ADDITIONAL RECREATION EQUIPMENT IN THE DESIGN OF THE GARAGE. GARAGES ARE ENCOURAGED TO BE ATTACHED TO THE PRIMARY RESIDENCE.

ACCESSORY BUILDINGS

A HOMEOWNER MAY ONLY HAVE 2 ACCESSORY BUILDINGS. THE FOLLOWING REQUIREMENTS MUST BE MET:



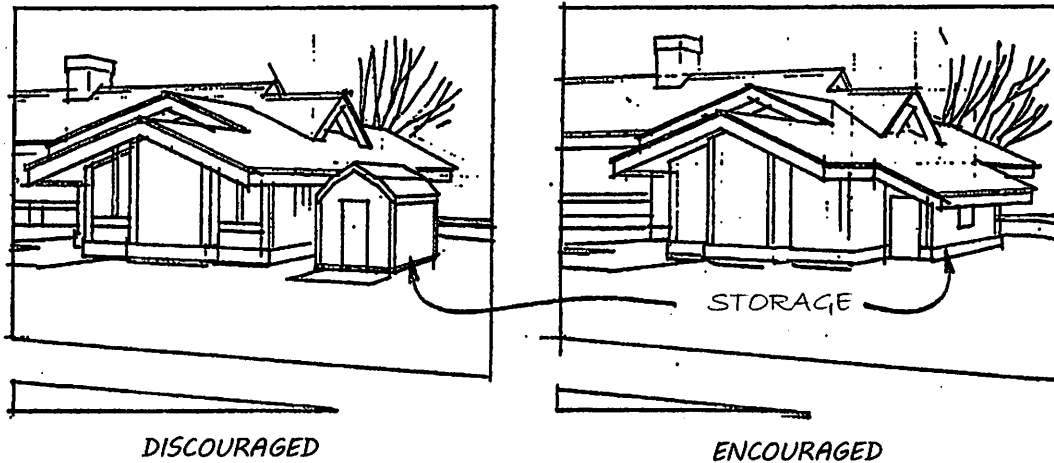
- ACCESSORY BUILDINGS REQUIRE ARC APPROVAL AND MUST BE DESIGNED TO MEET THE EXISTING DRG GUIDELINES AND LOCAL ORDINANCES.
- ACCESSORY BUILDINGS MUST CONFORM TO THE SPECIFIC LOT RESTRICTIONS FOUND ON PAGE 11 OF THE DRG. A GUEST CABIN IS REQUIRED TO BE A SINGLE-STORY BUILDING.
- ACCESSORY BUILDING MUST BE LOCATED WITHIN THE EXISTING BUILDING ENVELOPE. THERE ARE 3 TYPES OF BUILDINGS DEFINED AS ACCESSORY BUILDINGS:
 - A MULTI-USE STRUCTURE NOT TO EXCEED 2400 SF. IF A BATHROOM IS INCLUDED, THE SEPTIC DESIGN MUST HAVE ADEQUATE CAPACITY AND BE STAMPED BY A REGISTERED CIVIL ENGINEER. IN ADDITION, THE MULTI-FAMILY WATER SYSTEM MUST BE CONSIDERED UNLESS THERE IS A PRIVATE WELL. (SEE NOTES- PAGE. 59) KITCHENS ARE NOT ALLOWED.
 - A GUEST CABIN NOT TO EXCEED 1,200 SF TO ACCOMMODATE BEDROOM(S), A BATHROOM, AND KITCHENETTE. THE SEPTIC DESIGN MUST HAVE ADEQUATE CAPACITY AND BE STAMPED BY A REGISTERED CIVIL ENGINEER. IN ADDITION, THE MULTI-FAMILY WATER SYSTEM MUST BE CONSIDERED UNLESS THERE IS A PRIVATE WELL. IN ALL CASES, THIS CABIN IS A SINGLE-STORY STRUCTURE MEANT TO COMPLEMENT THE EXISTING HOME. SHOULD A HOMEOWNER CHOOSE TO BUILD THE GUEST CABIN INITIALLY, THE MAIN HOUSE NEEDS TO COMMENCE AT THE SAME TIME AND WITHIN A REASONABLE SCHEDULE OF COMPLETION.
 - A GREENHOUSE, IF DETACHED FROM THE MAIN HOUSE, MAY NOT EXCEED 10'x14' OR 140 SF. IT IS RECOMMENDED, GIVEN THE TEMPERATURE SWINGS IN MONTANA, THAT A GREENHOUSE BE ATTACHED TO THE MAIN HOUSE.

ACCESSORY BUILDINGS MAY NOT BE RENTED SEPARATELY FROM THE MAIN HOUSE.

STORAGE SHEDS / SECONDARY STRUCTURES

TO AVOID A TACKED ON "STORAGE SHED" APPEARANCE, IT IS RECOMMENDED THAT NEEDED STORAGE SPACE BE INTEGRATED INTO THE OVERALL DESIGN OF THE MAIN LIVING STRUCTURE.

THE NECESSARY STORAGE NEEDS SHOULD BE ANTICIPATED AND PROVIDED FOR IN A GARAGE OF THE APPROPRIATE SIZE. DETACHED STORAGE UNITS WHICH ARE NOT IN CHARACTER WITH THE MAIN RESIDENCE ARE DISCOURAGED AND REQUIRE A VARIANCE FROM THE ARC. IF APPROVED, A SPECIAL CONCESSION MAY BE REQUIRED TO MITIGATE THE VIEW FROM ADJOINING LOTS.



RV'S, BOATS, RECREATIONAL EQUIPMENT

ALL PASSENGER VEHICLES (INCLUDING PICKUPS OR VANS), RV'S, MOBILE HOMES, TRAILERS, BOATS, TRACTORS, WAGONS, AND FARM EQUIPMENT OR IMPLEMENTS USED OR OWNED BY THE RESIDENT SHALL BE KEPT AND PARKED OVERNIGHT WITHIN GARAGES, BARNs, OR OTHERWISE COMPLETELY SHIELDED FROM VIEW.

ELECTRICAL METERS

METERS SHOULD BE PLACED IN A LOCATION SO AS TO BE ACCESSIBLE TO THE METER READER AND YET NOT VISIBLE FROM ADJOINING ROADWAYS. ALL UTILITIES AT SUN WEST RANCH ARE TO BE PLACED UNDERGROUND.

A RECESSED OR ENCLOSED CONTAINER COMPLYING WITH POWER COMPANY SPECIFICATIONS CAN BE DESIGNED INTO THE WALL OF A HOUSE TO CONCEAL AN ELECTRICAL METER. ALL CONDUIT WIRES SERVICING THE METER ARE TO BE BENEATH THE EXTERIOR WALL SHEATHING OR ENCLOSED.

SATELLITE DISHES

THE PLACEMENT OF SATELLITE DISHES OR ANY COMMUNICATION DEVICE MUST BE ATTACHED TO THE HOME STRUCTURE AND MUST BE APPROVED BY THE ARC PRIOR TO INSTALLATION. IN SOME CASES, THE ARC MAY REQUEST NATURAL SCREENING TO BE PLACED TO SCREEN IT FROM A VIEW OF THE ROAD OR A NEIGHBOR.

SOIL DISPOSAL

EACH SITE HAS BEEN CAREFULLY SELECTED SO THAT WHEN COUPLED WITH A SENSITIVE DESIGN APPROACH, A MINIMUM DISRUPTION OF THE SITE WILL BE REQUIRED. WHEN ADDITIONAL SOILS ARE THE RESULT OF EXCAVATION, THEY MAY NOT BE PERMANENTLY PLACED ON YOUR SITE AND MUST BE REMOVED FROM THE LOT PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED. THE SWR MAY MAKE ACCOMMODATIONS FOR PLACEMENT OF OVERBURDEN OFF SITE AT A DESIGNATED LOCATION, IF AVAILABLE.



EXTERIOR WALLS

WALLS, IN ADDITION TO ENCLOSING INTERIOR SPACES, ARE ONE OF THE MOST IMPORTANT ASPECTS OF THE EXTERIOR BUILDING DESIGN, AND IN A LARGER SENSE, REFLECT THE IMAGE OF OUR SUN WEST RANCH.

ASIDE FROM CONSIDERATION OF SCALE AND PROPORTION AS MENTIONED IN THIS GUIDE, MATERIALS AND COLORS CHOSEN FOR THE EXTERIOR SURFACE ARE A MAJOR PART OF THE AESTHETIC APPEAL.

DESIGN MATERIALS

MATERIALS THAT ARE ENCOURAGED:

- NATURAL WOOD SIDING THAT CAN BE STAINED OR PAINTED.
- LOGS.
- NATURAL STONE.
- STUCCO (ACCEPTABLE).

MATERIALS THAT ARE DISCOURAGED:

- STEEL OR ALUMINUM SIDING.
- PLASTIC SIDING.
- SIMULATED STONE, BRICK OR WOOD.
- ASPHALT OR HARDWOOD SIDING.

RECOGNIZING THE PROGRESSIVENESS OF THE BUILDING INDUSTRY, THE ARC IS OPEN TO CONSIDERING NEW MATERIALS THAT CAN BE UTILIZED EFFICIENTLY IN BUILDING WHILE MAINTAINING THE AESTHETIC CHARACTER OF THE COMMUNITY.

NATURAL MATERIALS SUCH AS STONE AND WOOD BY THEIR NATURE INHERENTLY WORK WELL WITH THE SURROUNDINGS. NATURAL COLOR OR TRANSPARENT FINISHES ON THESE MATERIALS NOT ONLY ENHANCE THEM BUT ACTUALLY IMPROVE WITH AGE AND ARE LOW MAINTENANCE.

MAN-MADE MATERIALS OF NATURAL COLORS AND TEXTURES SUCH AS EXTERIOR GRADE PLYWOOD, I.E. 77-77, MAY ALSO BE SUITABLE. ONLY WHEN MAN-MADE MATERIALS TRY TO MIMIC NATURAL MATERIALS OR ARE FINISHED IN BRIGHT OR HIGHLY REFLECTIVE COLORS, ARE THEY OFFENSIVE.

ALSO A BALANCE SHOULD BE KEPT WITH THE MIXTURE AND NUMBER OF MATERIALS USED. THE USE OF FOUR OR MORE DIFFERENT MAIN MATERIALS CAN CREATE CONFUSION AND DETRACT FROM AN OTHERWISE GOOD DESIGN. CONVERSELY, A LARGE UNBROKEN EXPANSE OF SINGLE MATERIAL CAN BE A NEGATIVE DESIGN FEATURE.

STUCCO

IT IS IMPORTANT TO DETAIL A BUILDING WHICH USES STUCCO OR PLASTER IN A WAY THAT ADDS INTEREST TO THE PLAINNESS OF THE STUCCO SURFACE. WALL OPENINGS SHOULD BE DESIGNED TO SHOW A MORE MASSIVE, ADOBE-LIKE WALL THICKNESS. LARGE EXPANSES OF STUCCO OR PLASTER SHOULD BE BROKEN UP TO AVOID MONOTONY.

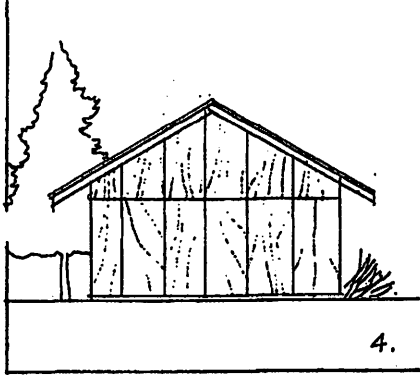
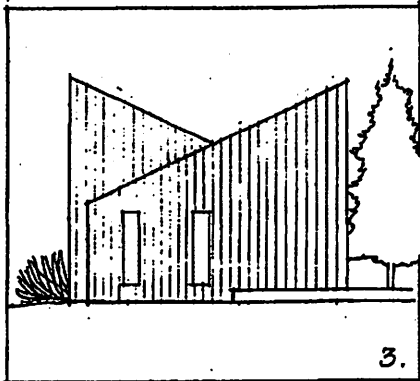
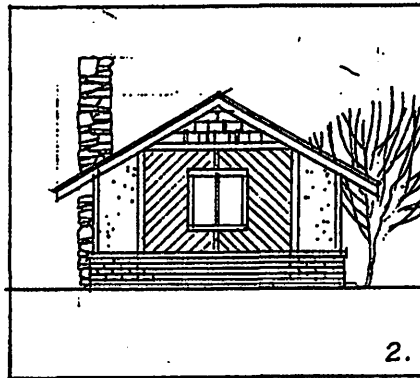
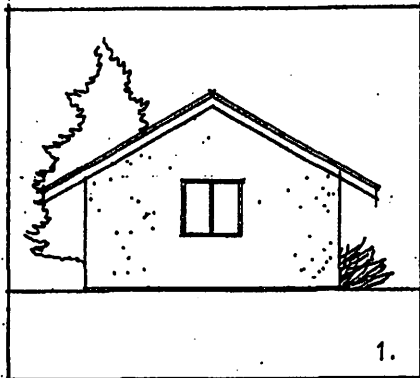
MASONRY

MASONRY, LIKE STUCCO, MUST BE PROPERLY USED IN ORDER TO BE MOST EFFECTIVE. TO TAKE FULL ADVANTAGE OF MASONRY, CARE MUST BE TAKEN TO AVOID A 'THIN VENEER' APPEARANCE. THIS CAN BEST BE ACCOMPLISHED THROUGH A CAREFUL CHOICE OF HOW AND WHERE THE STONE EDGES OCCUR.

ALSO EXTREMELY THIN STONE VENEER CAN HAVE A POOR APPEARANCE EVEN WHEN APPLIED AS SHOWN. A THICKER VENEER WILL CREATE A SENSE OF STURDY QUALITY. STONE IS BEST USED WHEN ITS EDGES ARE TERMINATED AT INSIDE CORNERS.



DISCOURAGED ELEMENTS: A REVIEW



- STUCCO WALL FINISH WITHOUT ANY TRIM, JOINTS OR SURFACE ARTICULATION LACKS VISUAL INTEREST.
- TOO MANY DIFFERENT MATERIALS USED AT ONCE CAN CREATE VISUAL CONFUSION.
- HIGH EXTERIOR WALLS WITH FEW OPENINGS OR OTHER INTERRUPTIONS CAN LACK INTEREST AND APPEAR OUT OF SCALE. CONTEMPORARY DESIGNS ARE DISCOURAGED.
- PLYWOOD SIDING WITH VISIBLE EDGE JOINTS IS VERY UNATTRACTIVE AND SHOULD BE AVOIDED.

ROOF MATERIALS & ELEMENTS

THE PLACEMENT OF SKYLIGHTS SHOULD TAKE EXTERIOR APPEARANCES INTO ACCOUNT AS WELL AS INTERIOR DAY LIGHTING NEEDS. A SKYLIGHT PLACED WITHOUT CONSIDERATION TO EXTERIOR APPEARANCES MAY WELL DETRACT FROM THE DESIGN. OFTEN SUCH SKYLIGHTS ACHIEVE THE MOST ATTRACTIVE PLACEMENT WHEN POSITIONED WELL AWAY FROM DIFFICULT ROOF CHANGES SUCH AS VALLEYS AND HIPS WHERE LEAKS MAY DEVELOP.

AT A MINIMUM, SKYLIGHTS SHOULD BE OF QUALITY, INSULATED, DOUBLE GLAZED CONSTRUCTION. LOW PROFILE SKYLIGHTS ARE ALSO MORE ENCOURAGED THAN BUBBLE OR DOMED SKYLIGHTS.

ROOF MATERIALS THAT ARE THOUGHTFULLY CHOSEN WILL ENHANCE AND SUPPORT THE CHARACTER OF THE BUILDING AND WILL HELP TO BRING ABOUT A COHESIVENESS WITHIN THE SUN WEST RANCH COMMUNITY. ROOFING MATERIALS SHOULD BE CHOSEN FOR BOTH AESTHETIC APPEAL AND THE FUNCTION WHICH THEY MUST PERFORM; PARTICULARLY THAT OF SHEDDING SNOW.

ENCOURAGED ROOF MATERIALS:

- COPPER
- ZINC
- SLATE
- CEDAR SHINGLES & SHAKES (FIRE RETARDED)
- ASPHALT COMPOSITION SHINGLES (MINIMUM DOUBLE LAMINATE)
- PAINTED METAL (STANDING SEAM, RIBBED)

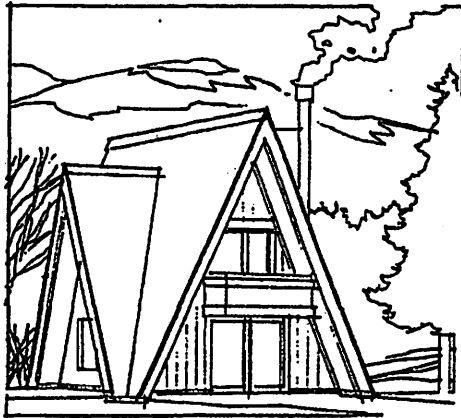
COLOR

MUTED AND SUBDUED COLORS SHOULD BE CHOSEN TO HARMONIZE WITH THE SURROUNDING COLOR SCHEMES OF NEIGHBORING BUILDINGS AND THE NATURAL ENVIRONMENT. ALL FLASHING, ROOF VENTS, HOODS, AND OTHER ROOF ELEMENTS SHOULD BE FINISHED WITH COLORS WHICH BLEND WITH THE ROOFING. ROOF COLOR MUST BE APPROVED BY THE ARC.

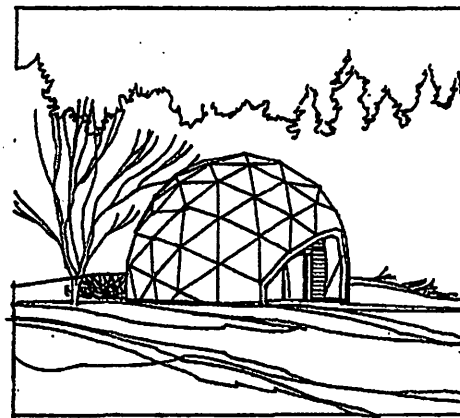
ROOF FORMS:

THE FOLLOWING TYPES OF ROOF FORMS ARE DISCOURAGED.

- MANSARD
- CURVILINEAR
- DOMED
- A-FRAME
- FLAT OR FLAT APPEARING



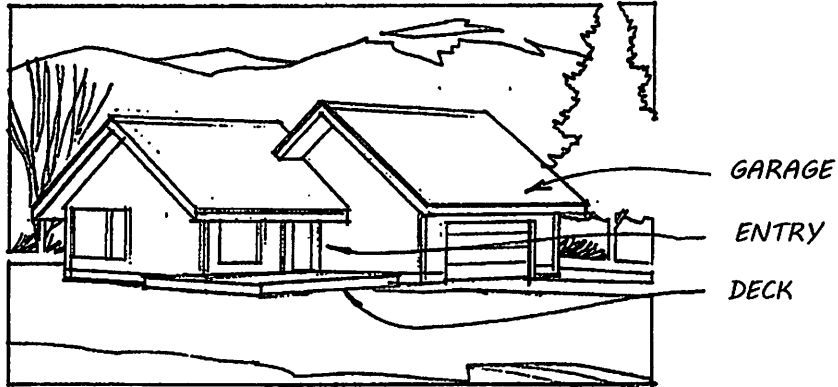
A-FRAME



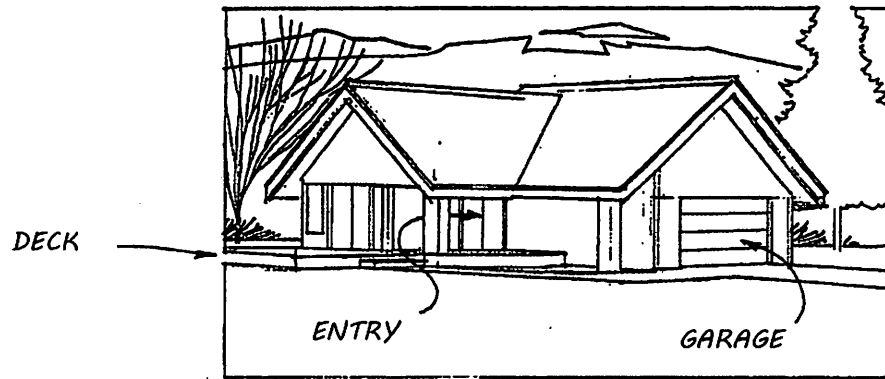
DOMED

SNOW ACCUMULATION CARE SHOULD BE TAKEN TO AVOID SNOW SLIDING OFF THE ROOF ON TO ENTRY WALKS, GARAGE DRIVEWAYS, DECKS OR OTHER AREAS WHERE SNOW ACCUMULATION CAN BE A PROBLEM.

IDEALLY SUCH AREAS SHOULD BE LOCATED AT GABLE ENDS.



DISCOURAGED



ENCOURAGED

ENERGY CONSERVATION

THE MINIMUM ROOF INSULATION SHOULD BE R-50. FOR EXPOSED DECK OR OPEN-BEAMED CEILINGS, THE MINIMUM R-VALUE WILL BE 25. THIS IS A WISE CHOICE BECAUSE HEAT ESCAPING THROUGH THE ROOF IS NOT ONLY COSTLY BUT CAN CAUSE ICE DAMS.

ICE DAMS

BECAUSE ICE CAN FORM AT THE EAVES OF A POORLY DETAILED AND UN-INSULATED ROOF SYSTEM, IT IS IMPORTANT TO CONSIDER THE ROOF ASSEMBLY AND ITS CONFIGURATION. IF THE SNOW IS HEATED BY HEAT LOSS THROUGH THE ROOF, THE RESULTING MOISTURE WILL RUN DOWN AND FREEZE WHEN IT HITS THE COLD OVERHANGING PORTION OF THE ROOF. THE ACCUMULATION OF ICE AT THIS LOCATION CAUSES WATER TO BE POOLED AGAINST THE ROOF WHICH CAN CAUSE LEAKING.

COLD ROOFS

TO AVOID ICE DAMS A COLD ROOF SYSTEM MAY BE USED. COLD ROOF SYSTEMS PROVIDE OUTSIDE AIR CIRCULATION UNDER THE SHINGLES. THIS VENTING MAINTAINS THE SAME ROOF TEMPERATURE OVER THE ENTIRE ROOF.

SNOW LOADS

SPECIFIC MINIMUM SNOW LOAD REQUIREMENTS FOR SUN WEST RANCH SHOULD BE DETERMINED BY YOUR ARCHITECT AND ENGINEER.

SPECIAL ATTENTION SHOULD BE PAID BY ARCHITECTS AND ENGINEERS TO AREAS OR SITES WHICH MAY RECEIVE HEAVIER SNOW LOADS, DUE TO NATURAL OR MAN-MADE FORCES.

SOLAR PANELS

SOLAR PANELS CAN BE INTEGRATED INTO THE DESIGN OF THE BUILDING OR CAN BE DETACHED WITHIN BUILDING ENVELOPE. IN EITHER CASE, THE ARRAY SHOULD BE PLACED DISCREETLY WITH NO OR MINIMAL IMPACT ON THE RANCH AND ON NEARBY AND ADJACENT PROPERTIES.

GEO-THERMAL

(CLOSED LOOP OR OPEN LOOP SYSTEM) REQUIRES ONE OR MULTIPLE WELLS TO BE DRILLED REQUIRING 12-15 GALLONS OF WATER PER MINUTE. THESE WELLS CAN PROVIDE HEATING IN THE WINTER AND COOLING IN THE SUMMER COMBINED WITH A TRADITIONAL RADIANT FLOOR SYSTEM. CONSULT WITH EITHER AN ENGINEER OR LOCAL EXPERIENCED HVAC CONTRACTOR PRIOR TO MAKING FINAL DESIGN CHOICES. GASTON ENGINEERING HAS CONSIDERABLE LOCAL KNOWLEDGE.

IT IS RECOMMENDED THAT ALL NEW CONSTRUCTION MAXIMIZE ENERGY PERFORMANCE BY USING THE HIGHEST QUALITY MATERIALS, INSULATION PRODUCTS AND WHERE DESIRED ALTERNATIVE ENERGY RESOURCES. THE CHOICES REGARDING ALTERNATIVE ENERGY ARE EXTENSIVE. IT IS BEST TO USE A CONSULTANT OR A HVAC CONTRACTOR TO PROVIDE YOU WITH THE RIGHT CHOICES FOR YOUR NEEDS.

CHIMNEYS

A CHIMNEY CAN BE AN EXCELLENT DESIGN FEATURE. THEY ARE NATURALLY STRONG ELEMENTS BECAUSE BUILDING CODES REQUIRE THAT THEY BE TALLER THAN THE SURROUNDING ROOF LINE.

A CAREFUL CHOICE OF MATERIALS AND PROPORTION IS NECESSARY TO FULLY BENEFIT FROM THE CHIMNEY AS A DESIGN ELEMENT. CHIMNEYS MUST INCLUDE SPARK ARRESTORS.

THE USE OF EXPOSED CONCRETE BLOCK OR EXPOSED STOVEPIPE TYPE CHIMNEY IS NOT PERMITTED.

THE PROPORTIONS OF THE CHIMNEY SHOULD GIVE IT A SUBSTANTIAL, STABLE APPEARANCE.



WINDOW OPENINGS

OPENINGS OF UNUSUAL SHAPE OR SPECIAL TREATMENTS USED ARBITRARILY OR EXCESSIVELY BECOME DISTRACTING TO GOOD DESIGN. THE USE OF SUCH FORMS OF TREATMENT TO 'DRESS UP' A WEAK OR MONOTONOUS DESIGN IS NOT USUALLY SUCCESSFUL.

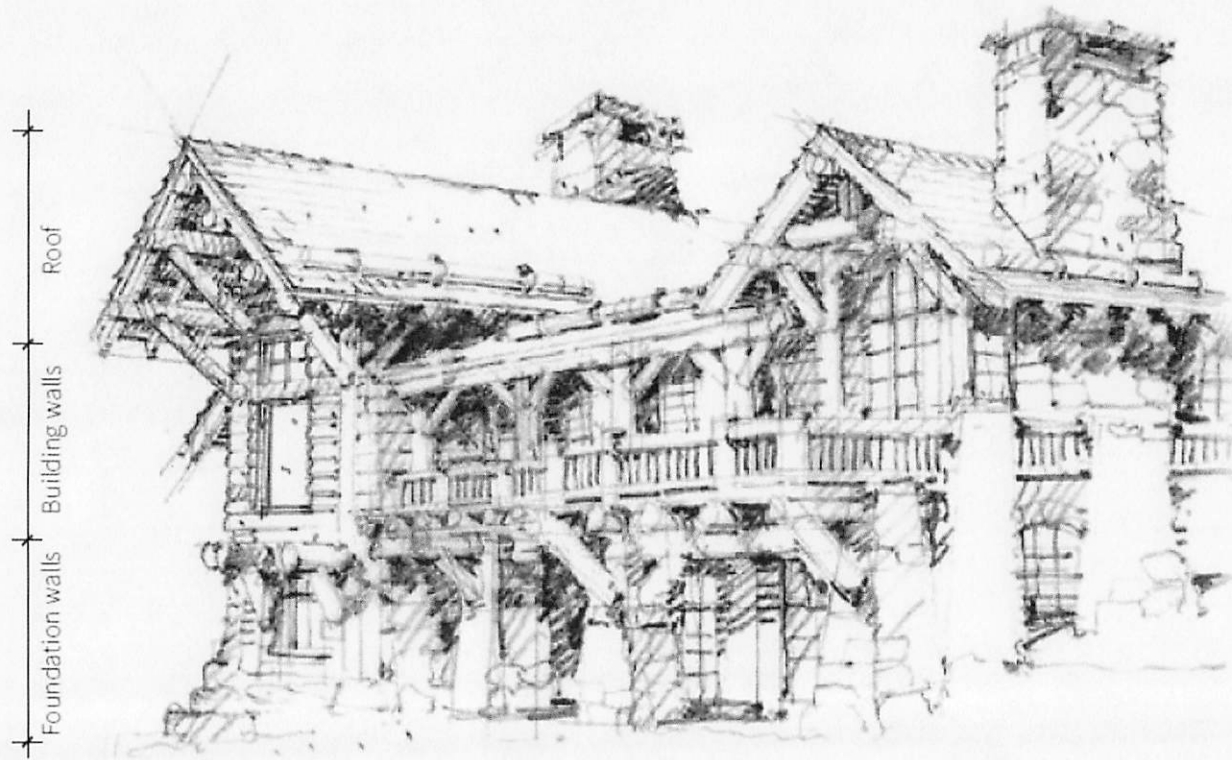
A SPECIAL OPENING SHAPE OR TREATMENT SUCH AS AN OCTAGONAL OR STAINED-GLASS WINDOW WILL ATTRACT MORE ATTENTION THAN A CONVENTIONAL WINDOW. SUCH WINDOWS ARE SPECIAL ONLY IF THEY ARE USED WITH RESTRAINT, AND IF THEY ARE CAREFULLY PLACED WITH RESPECT TO THEIR INTERIOR AND EXTERIOR POSITIONING.

A CONSISTENT WINDOW TYPE SHOULD BE DOMINANT THROUGHOUT THE OVERALL DESIGN. IF CASEMENT WINDOWS WITH TRUE DIVIDED LINES ARE USED, THEY SHOULD BE CARRIED THROUGH MOST OF THE HOUSE.



EXTERIOR GRADE & SIDING

SIDING SHOULD FOLLOW THE LINE OF FINISHED GRADE, INSTEAD OF STEPPING.
NAILING STRIPS OR OTHER DEVICES CAN BE USED TO FASTEN THE SIDING TO THE
FOUNDATION WALL.



FOUNDATION ELEMENTS

A FOUNDATION IS MUCH MORE THAN JUST SOMETHING FOR THE BUILDING TO SIT ON. THE FOUNDATION AND ITS RELATED ELEMENTS (RETAINING WALLS, ETC.) ARE ALSO WHAT VISUALLY TIES THE BUILDING TO THE SITE. THE DESIGN AND MATERIAL SELECTION FOR THE FOUNDATION SHOULD BE CAREFULLY PLANNED AND BUDGETED FOR.

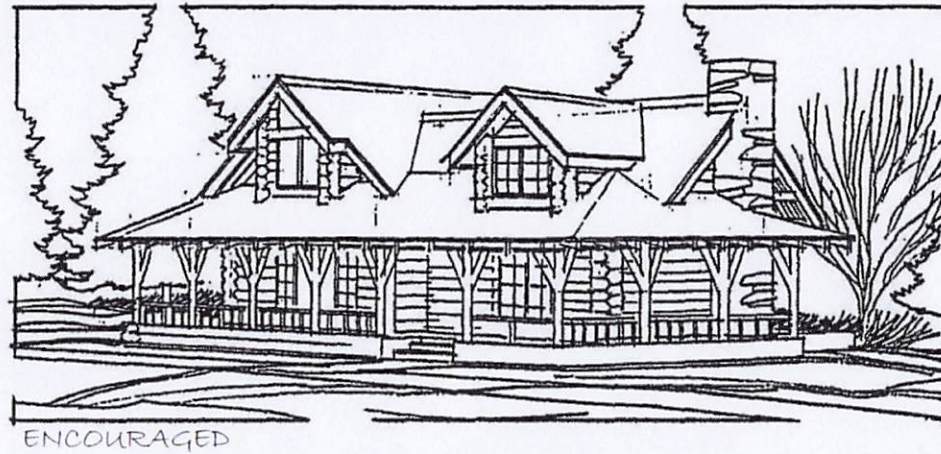
ESPECIALLY ON SLOPED SITES, THE FOUNDATION WILL BE EXPANSIVE AND UNATTRACTIVE IF THE BUILDING IS NOT DESIGNED TO FIT THE SLOPE.



LOG HOMES

LOG HOMES ARE ENCOURAGED AT THE RANCH; HOWEVER, THEY SHOULD FOLLOW THE DESIGN GUIDELINES AND HAVE INTERESTING ROOF LINES, ETC. SIMPLE BOXES ARE PROHIBITED.

HAND-HEWN LOGS ARE HIGHLY DESIRABLE AND MACHINE PEELED LOGS ARE NOT PROHIBITED, BUT ARE DISCOURAGED, UNLESS THEY HAVE INTERESTING ROOF LINES AND PLANS.



ENGINEERING

THE DESIGN PROCESS FOR ANY NEW HOME REQUIRES ENGINEERING. AT THE MINIMUM YOU NEED THE FOLLOWING ENGINEERS:

- LICENSED CIVIL ENGINEER TO COMPLETE SOIL TESTS FOR THE SOIL BEARING CAPACITY AND PERCOLATION TEST FOR SEPTIC DESIGN. THE CIVIL ENGINEER WILL ALSO PROVIDE DRIVEWAY DESIGN AND ROUGH GRADING FOR DRAINAGE AROUND THE STRUCTURE.
- THE STRUCTURAL ENGINEER WILL USE THE SOIL BEARING CAPACITY TO PROVIDE AN ADEQUATE FOUNDATION AND OVERALL STRUCTURAL DESIGN. THE ENGINEER WILL ALSO PROVIDE SITE INSPECTIONS TO PROVIDE BEARING ANALYSIS FOR SLABS, FOOTINGS AND ANY REQUIRED ENGINEERED FILL.

INAPPROPRIATE DESIGNS

EVEN THOUGH THERE MAY BE MANY MERITS TO EXPERIMENTAL OR RADICAL BUILDING DESIGNS, IT HAS BEEN DETERMINED THAT GENERALLY SUCH DEPARTURES FROM ESTABLISHED ARCHITECTURAL PRACTICE AND CONSTRUCTION TECHNIQUES ARE NOT IN KEEPING WITH THE QUIET, MORE CONSERVATIVE CHARACTER WITHIN SUN WEST RANCH. PASSIVE SOLAR AND ENERGY EFFICIENT DESIGNS ARE ENCOURAGED AND IT IS FELT THAT THESE INNOVATIVE CONCEPTS CAN BE INCORPORATED WITHOUT COMPROMISING THE DESIGN GOALS.

LENGTHY RESEARCH AND CONSIDERATION BY THE PROFESSIONAL DESIGN TEAM HAS SHOWN THAT TYPICALLY THE MOST OBJECTIONABLE EXAMPLES ARE THOSE THAT RESULT FROM SO-CALLED COST ON TIME SAVINGS CONSTRUCTION METHODS SUCH AS KITS OR PREFAB MODULES OR THE ADAPTATION OF BUILDING SYSTEMS MORE SUITED TO USES OTHER THAN FOR CUSTOM RESIDENTIAL.

PONDS

PONDS ARE ALLOWED AT SUN WEST RANCH BASED ON THE DESIGN AND RECOMMENDATIONS OF A POND & STREAM CONSULTANT AND WITH THE APPROVAL OF BOTH THE ARC AND SWRPOA BOARD.

IT IS RECOMMENDED THAT THE HOMEOWNER SUBMIT A PLAN FOR A POND WITH THEIR INITIAL CONCEPT DESIGN SUBMITTAL. IT IS REQUIRED THAT A MEMBER OF THE ARC AND THE SWRPOA BOARD WALK THE SITE WITH THE HOMEOWNER AND POND CONSULTANT PRIOR TO CHOOSING THE LOCATION OF THE POND. THE BOARD WILL CONSIDER THE IMPACT OF A POND ON NEARBY AND ADJACENT LOT OWNERS. THE WATER SOURCE FOR PONDS IS REGULATED BY THE STATE AND CURRENT REGULATION REQUIRES A PRIVATE WELL. PONDS MUST MEET ALL THE STATE GUIDELINES. OWNERS SHOULD BE AWARE THAT DRILLING A PRIVATE WELL MAY RESULT IN A DRY HOLE OR TOXIC WATER—PRIOR RESULTS HAVE BEEN MIXED.

PERMITS ARE REQUIRED FOR STOCKING FISH. PONDS AT SWR ARE REQUIRED TO BE NO SMALLER THAN $\frac{1}{4}$ ACRE AND NO LARGER THAN $\frac{1}{2}$ ACRE. PONDS MUST BE AERATED WITH FLOWING WATER, 12-14' DEEP (ALLOWING FISH TO OVERWINTER AND THRIVE) AND DESIGNED WITH A NATURALIZED ORGANIC EDGE.

THE HOMEOWNER MUST PRESENT A PLAN FOR THE ONGOING MAINTENANCE OF THEIR POND. AS PART OF THE CONSTRUCTION DOCUMENT PACKAGE, THE PLACEMENT, GRADING AND DETAILS OF THE POND DESIGN MUST BE PROVIDED.



NATURAL=WATERFALL



ORGANIC=AERATED=POND

CISTERNS

A TOTAL MINIMUM OF 3500 GALLON CISTERN(S) IS REQUIRED. 2 UNITS MAY BE UTILIZED IN SERIES TO PROVIDE THE MINIMUM REQUIREMENT.

PRIVATE WELLS

SUN WEST RANCH ALLOWS PRIVATE WELLS (SEE NOTE 3. PAGE. 59). DOMESTIC WELLS ARE REGULATED BY THE STATE. IT IS REQUIRED THAT THE HOMEOWNER CONSULT WITH A HYDROLOGIST AND PROVIDE THE RECOMMENDATIONS TO THE ARC. SUN WEST RANCH PROVIDES DOMESTIC WATER THROUGH A MULTI-FAMILY WATER SYSTEM (SEE NOTE 1. PAGE 59). IT IS IMPORTANT TO LOCATE PRIVATE WELLS SO AS NOT TO DISTURB THE EXISTING WATER SUPPLY.(SEE NOTE 1. PAGE. 59). A PRIVATE WELL WILL BE REQUIRED IF THE HOMEOWNER PLANS FOR EXTENSIVE IRRIGATION, FIRE SUPPRESSION SYSTEMS OR A POND.

HISTORICALLY THE SIZE OF HOMES ON SWR HAVE BEEN LIMITED DUE TO A UNIQUE SYSTEM OF MULTI-FAMILY WELLS SERVING 4-6 HOMES WITH WATER DESIGNATED SPECIFICALLY FOR DOMESTIC USE. THE MADISON COUNTY WELL PERMITS LIMIT THE NUMBER OF BEDROOMS ALLOWED BASED ON THE WATER SYSTEM STIPULATING 24 RESIDENTS PER WELL.

OVER TIME, THE QUALITY OF THE MULTI-FAMILY WELLS HAVE BEEN TRACKED WITH TESTING AND WATERLOGS. THIS INFORMATION CAN BE FOUND AT THE SWR OFFICE. DURING DRY CONDITIONS, SOME WELLS MAY REGENERATE MORE SLOWLY. SWR HAS INCREASED THE REQUIREMENT FOR CISTERN SIZE TO 3500 GALLONS RECOGNIZING THIS REALITY.

IT HAS BEEN OUR PRACTICE THAT THE MULTI-FAMILY WELLS ARE USED FOR IRRIGATION DUE TO SWR REQUIREMENTS FOR MAINTAINING GREEN AREAS AROUND HOMES. IRRIGATION IS A STRESS ON THE WELL SYSTEMS. WHEN PLANNING YOUR HOME AND IF PLANNING FOR ACCESSORY BUILDINGS, IT IS IMPORTANT TO NOTE THAT ACCESSORY BUILDINGS DO NOT ALLOW KITCHENS AND MAY HAVE ONLY ONE BATHROOM PER BUILDING. THESE ACCESSORY BUILDINGS ARE TO ACCOMMODATE LIFESTYLE CONSIDERATIONS SUCH AS EXTRA OFFICE SPACE OR VEHICLE SPACE AND OCCASIONAL GUESTS. IT IS ASSUMED THAT THE MULTI-FAMILY WELLS WILL BE THE PRIMARY SOURCE OF DOMESTIC WATER USE.

NOTES

1. MULTI-FAMILY WATER SYSTEMS - SEE SUN WEST RANCH CC&RS, ARTICLE X, WATER SYSTEMS AND WELL PROTECTION EASEMENTS. SEE ALSO CC&RS, ARTICLE VIII, USE RESTRICTIONS, SECTION 31, LIMITATIONS ON THE NUMBER OF OCCUPANTS.
2. SITING OF RESIDENCES - SUN WEST RANCH CC&RS, ARTICLE VIII, USE RESTRICTIONS, SECTION 27, SITING OF RESIDENCE.
3. PRIVATE WELLS - SEE SUN WEST RANCH CC&RS, ARTICLE X, WATER SYSTEMS. ALSO SEE ARTICLE VIII, USE RESTRICTIONS, NO MINING OR DRILLING - "AN OWNER MAY DRILL ONE OR MORE WATER WELLS ON HIS OR HER LOT, AND WITH THE BOARD'S CONSENT WITHIN THE COMMON AREA, FOR THE PURPOSE OF PROVIDING WATER TO THE IMPROVEMENTS CONSTRUCTED ON THE LOT FOR DRINKING, HOME AND LANDSCAPING USE."
4. OWNERS SHOULD BE AWARE THAT DRILLING A PRIVATE WELL MAY RESULT IN A DRY HOLE OR TOXIC WATER—PRIOR RESULTS HAVE BEEN MIXED.
5. GASTON ENGINEERING HAS DONE EXTENSIVE WORK AT SUN WEST RANCH.



DEFINITIONS

UNLESS THE CONTEXT OTHERWISE SPECIFIES OR REQUIRES, USE OF THE FOLLOWING WORDS OR PHRASES WHEN USED IN THESE DESIGN GUIDELINES SHALL HAVE THE FOLLOWING MEANINGS:

APPLICANT - AN OWNER OR OWNER'S REPRESENTATIVE WHO IS AUTHORIZED TO REPRESENT AND/OR ACT UPON ANY APPLICATION, MATERIALS OR SUBMITTAL ON BEHALF OF THE OWNER.

ARCHITECT - A PERSON LICENSED TO PRACTICE PROFESSIONALLY AND WHO IS REQUIRED FOR THE DESIGN OF ALL BUILDINGS.

ARCHITECTURAL REVIEW COMMITTEE (ARC) - THE COMMITTEE APPOINTED BY THE SWR BOARD AS DESCRIBED IN THE CC&Rs AS THE ARC. THE ARC SHALL REVIEW AND EITHER APPROVE OR DISAPPROVE PROPOSALS AND/OR PLANS AND SPECIFICATIONS FOR ALL CONSTRUCTION ACTIVITY WITHIN SUN WEST RANCH.

AVERAGE NATURAL GRADE - THE MAXIMUM BUILDING HEIGHT IS ESTABLISHED BASED ON THE AVERAGE NATURAL GRADE AT EVERY POINT ALONG THE FOUNDATION. THIS HEIGHT IS ESTABLISHED BY USING 3D MODELING SOFTWARE OR SIMPLY CALCULATING THE AVERAGE NATURAL GRADE AROUND THE PERIMETER OF THE PROPOSED BUILDING. FOR EXAMPLE, IF THE BUILDING IS 100' LONG AND THE GRADE DROPS 5' ACROSS THE LENGTH OF THE BUILDING, THEN THE MAXIMUM HEIGHT OF THE BUILDING IS MEASURED FROM 2.5' BELOW THE TOP OF THE ESTABLISHED MAIN LEVEL FLOOR ELEVATION. CHIMNEYS ARE EXCLUDED FROM THIS MEASUREMENT. THE FINISHED GRADE IS THE FINAL GRADE OF ALL LANDSCAPING INCLUDING HARDSCAPES, TERRACES, PLANTINGS AND SOIL.

BUILDER/CONTRACTOR - A PERSON OR ENTITY ENGAGED BY AN OWNER FOR THE PURPOSE OF CONSTRUCTING ANY IMPROVEMENTS WITHIN THE PROJECT. THE "BUILDER/CONTRACTOR" AND "OWNER" MAY BE THE SAME PERSON OR ENTITY.

BUILDING ENVELOPE - THAT PORTION OF A LOT LYING WITHIN A 100- OR 125-FOOT RADIUS (AS SPECIFIED ON PAGE 11 LOT INFORMATION TABLE) OF THE PIN MARKING THE SUGGESTED IDEAL HOME SITE. NINETY PERCENT OF ALL BUILDINGS MUST BE BUILT WITHIN THE ENVELOPE. LANDSCAPING, FENCES AND PONDS MAY BE OUTSIDE THE BUILDING ENVELOPE.

BUILDING HEIGHT - THE MAXIMUM BUILDING HEIGHT (EXCLUSIVE OF CHIMNEYS) SHALL NOT EXCEED THE HEIGHT SET FORTH IN THE TABLE ON PG 11. THE HEIGHT SHALL BE CALCULATED AS A POINT OF THE AVERAGE NATURAL GRADE TO THE HIGHEST ROOF ELEMENT.

CONFORMANCE AGREEMENT - AN AGREEMENT BETWEEN THE CONTRACTOR/ OWNER AND SUN WEST RANCH STATING THAT NO CHANGES SHALL BE MADE DURING THE COURSE OF CONSTRUCTION TO ANY PLANS APPROVED BY THE ARC, UNLESS SUCH CHANGES HAVE BEEN APPROVED IN WRITING BY THE ARC.

CONDITIONAL OCCUPANCY - A PROVISIONAL CERTIFICATE OF OCCUPANCY PERMIT GRANTED BY THE ARC FOR OCCUPANCY OF A RESIDENCE DETERMINED TO BE SUBSTANTIALLY COMPLETE BY THE ARC. AN EXAMPLE IS A HOME COMPLETED DURING THE TIME OF YEAR THAT PREVENTS LANDSCAPING FROM BEING INSTALLED.

CONSTRUCTION SITE - A SITE UPON WHICH CONSTRUCTION ACTIVITY TAKES PLACE.

CONSTRUCTION ACTIVITY - ANY SITE DISTURBANCE, ADDITION, OR ALTERATION OF ANY BUILDING, LANDSCAPING OR ANY OTHER IMPROVEMENTS ON ANY SITE.

CONSTRUCTION VEHICLE - ANY CAR, TRUCK, TRACTOR, TRAILER, OR OTHER VEHICLE USED TO PERFORM ANY PART OF A CONSTRUCTION ACTIVITY OR TO TRANSPORT EQUIPMENT, SUPPLIES, OR WORKERS TO A CONSTRUCTION SITE.

DESIGN REVIEW GUIDELINES - THE REVIEW PROCEDURES, RESTRICTIONS, AND CONSTRUCTION REGULATIONS ADOPTED AND ENFORCED BY THE ARC AS SET FORTH IN THIS DOCUMENT AND AS AMENDED FROM TIME TO TIME BY THE ARC AND APPROVED BY THE SWRPOA BOARD.

EXCAVATION - ANY DISTURBANCE OF THE SURFACE OF THE LAND (EXCEPT TO THE EXTENT REASONABLY NECESSARY FOR PLANTING OF APPROVED VEGETATION OR SOIL TESTING), INCLUDING ANY TRENCHING WHICH RESULTS IN THE REMOVAL OF EARTH, ROCK, OR OTHER SUBSTANCE OR ANY GRADING OF THE SURFACE.

FILL - ANY ADDITION OF EARTH, ROCK, OR OTHER MATERIALS TO THE SURFACE OF THE LAND, WHICH INCREASES OR CHANGES THE NATURAL ELEVATION OF SUCH SURFACE.

IMPROVEMENT - ANY CHANGES, ALTERATIONS, OR ADDITIONS TO A LOT INCLUDING BUT NOT LIMITED TO ANY EXCAVATION, FILL, RESIDENCE OR BUILDINGS, OUTBUILDINGS, ROADS, DRIVEWAYS, PARKING AREAS, WALLS, RETAINING WALLS, STAIRS, PATIOS, COURTYARDS, LANDSCAPE PLANTINGS, FENCES, SIGNS, AND STRUCTURES OF ANY KIND.

LIVABLE SPACE - THOSE AREAS WHICH ARE ENCLOSED AND MECHANICALLY HEATED/COOLED FOR HUMAN OCCUPANCY. AREAS WHICH ARE NOT CONSIDERED LIVABLE ARE GARAGE OR COVERED PARKING, UNFINISHED SPACES, MECHANICAL OR STORAGE SPACE.

MINIMUM FLOOR AREA - MINIMUM FLOOR AREA SHALL BE 2000 SQUARE FEET OF LIVABLE SPACE.

OWNER - THE RECORD HOLDER OF LEGAL TITLE TO FEE SIMPLE INTEREST IN A LOT. THE OWNER MAY ACT THROUGH AN AGENT PROVIDED THAT SUCH AGENT IS AUTHORIZED IN WRITING TO ACT IN SUCH CAPACITY.

OWNER REPRESENTATIVE - ANY ARCHITECT, CONTRACTOR, SUBCONTRACTOR, AGENT OR EMPLOYEE HIRED BY AN OWNER IN CONNECTION WITH ANY DESIGN OR CONSTRUCTION ACTIVITY.

RESIDENCE - THE BUILDING USED FOR RESIDENTIAL PURPOSES CONSTRUCTED ON A LOT, AND ANY IMPROVEMENTS CONSTRUCTED IN CONNECTION THEREWITH.

RIDGE LINE - A LINE OF DEMARCATION BETWEEN EARTH AND SKY OR FOREGROUND AND BACKGROUND WHICH REQUIRES ADDITIONAL DESIGN SENSITIVITY.

SINGLE STORY - A RESIDENCE WHERE NO LIVING OR SLEEPING SPACE EXISTS OVER THE PRIMARY LIVING LEVEL.

SITE PLAN - A DRAWING PREPARED DURING THE CONCEPTUAL DESIGN PHASE FOR EACH INDIVIDUAL LOT. EACH LOT DIAGRAM SPECIFIES THE REQUIRED BUILDING ENVELOPE AREA, SPECIFIC BUILDING HEIGHT, SUGGESTED DRIVEWAY ACCESS, VIEWS AND ANY ADDITIONAL SPECIAL RESTRICTIONS PERTINENT TO THE DEVELOPMENT OF THE LOT. THE SITE PLAN SHALL ALSO INCLUDE TOPOGRAPHIC CONTOURS AS DESCRIBED ON PAGE 12.

SUBSTANTIALLY COMPLETE - THE STAGE OF CONSTRUCTION ACTIVITY IS SUFFICIENTLY COMPLETE SO AS TO ALLOW THE OWNER TO LEGALLY OCCUPY THE STRUCTURE BY OBTAINING A PROVISIONAL CERTIFICATE OF OCCUPANCY FROM THE ARC AS DESCRIBED ON PAGE 19 OF THIS DRG NOT WITHSTANDING ANY OTHER PROVISIONS, CONSTRUCTION ACTIVITY SHALL NOT BE DEEMED TO BE SUBSTANTIALLY COMPLETE UNTIL ALL EXTERIOR FINISH WORK IS COMPLETE.

TEMPORARY STRUCTURE - ANY STRUCTURE ERECTED OR OTHERWISE INSTALLED AS A JOB OFFICE OR FOR THE PURPOSE OF STORING MATERIALS IN CONNECTION WITH CONSTRUCTION ACTIVITY.

APPENDIX

- SUBMITTAL FORMS
- FIRE MITIGATION PRESENTATION
- SUGGESTED LIST OF NATIVE PLANTS

SUBMITTAL FORMS

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SUN WEST RANCH

APPLICATION FOR DESIGN / CONSTRUCTION APPROVAL

Application Type:

- ☐ Conceptual Design Application
☐ Preliminary Design Application
☐ Construction Document Application
☐ Occupancy

One Time Fee:

- ☐ New Residence: \$5,000
☐ Conformance Deposit: \$15,000
☐ Modification to Residence: \$1,500
☐ Landscaping: \$250
☐ Recreational Facilities (Tennis Courts, etc.): \$250

Project Description:

Narrative describing modifications / deviations to previous submittal:

Architect's Information:

Name: _____

Address: _____

E-mail: _____ Phone: _____

Owner's Information:

Name: _____ Address: _____

E-mail: _____ Phone: _____

Contractor's Information:

Name: _____ Address: _____

E-mail: _____ Phone: _____

Committee Use Only:	Date:	Initials:
Design Review Fee:	_____	_____
Conceptual Design Submittal:	_____	_____
Preliminary Submittal:	_____	_____
Construction Document Submittal:	_____	_____
Supplementary Submittal:	_____	_____
Occupancy Permit:	_____	_____

SUN WEST RANCH

APPLICATION FOR DESIGN / CONSTRUCTION APPROVAL

Application Type:

- ☐ Conceptual Design Application
- ☐ Preliminary Design Application
- ☐ Construction Document Application
- ☐ Occupancy

One Time Fee:

- ☐ New Residence: \$5,000
- ☐ Conformance Deposit: \$15,000
- ☐ Modification to Residence: \$1,500
- ☐ Landscaping: \$250
- ☐ Recreational Facilities (Tennis Courts, etc.): \$250

Project Description:

Narrative describing modifications / deviations to previous submittal:

Architect's Information:

Name: _____

Address: _____

E-mail: _____ Phone: _____

Owner's Information:

Name: _____ Address: _____

E-mail: _____ Phone: _____

Contractor's Information:

Name: _____ Address: _____

E-mail: _____ Phone: _____

Committee Use Only:	Date:	Initials:
Design Review Fee:	_____	_____
Conceptual Design Submittal:	_____	_____
Preliminary Submittal:	_____	_____
Construction Document Submittal:	_____	_____
Supplementary Submittal:	_____	_____
Occupancy Permit:	_____	_____

SUN WEST RANCH CONFORMANCE AGREEMENT

We, the owner / Architect / Contractor, do agree and acknowledge that any executed deviations or changes that are not as depicted and represented in the approved construction documents on file at the Sun West Ranch POA Office are expressly disallowed. If changes or modifications are identified by the Sun West Ranch Compliance Officer, construction on the project must be halted until a satisfactory resolution can be reached and accepted by the Sun West Ranch Architectural Review Committee.

Signatures:

Owner: _____

Architect: _____

Contractor: _____

Date: _____

Lot #: _____

<i>Committee Use Only:</i>	<i>Date:</i>	<i>Initials:</i>
<i>Conformance Deposit Received:</i>	_____	_____
<i>Completeness/Occupancy Agreement:</i>	_____	_____



Sun west Ranch

Contractor rules and regulations

General Contractors must submit a list of all sub-contractors who will be working at the designated building site as well as their vehicle descriptions (including license plate numbers) to be kept on file in the POA office. Homeowners and general contractors are required to complete and sign this form and return it to the POA office prior to the onset of construction. General Contractors are responsible for informing all subs that they must sign this document and submit such to the SWRPOA office prior to commencing work. This document is available online at www.sunwestranchpoa.com (Registration is required to access these documents.) Any violation of these rules may result in the contractor or sub-contractor being denied access to the building site and Sun West Ranch as well as reported to fire or law enforcement agencies if applicable.

- 1. Contractor's working hours are 7:00 a.m. to 7:00 p.m. Monday through Saturday. SWR is closed to contractors on Sundays.*
- 2. All contractors and subcontractors must register at the POA office prior to commencing work to pick up a car tag which is to be hung from the rearview mirror each day while on the ranch. At the completion of each contractor or subcontractors work on SWR, the car tag must be relinquished to the POA office.*
- 3. During bad weather, workers should call the SWRPOA office (406-682-4831) in advance of their arrival to inquire about access to their construction site. There may be times when extreme storm conditions may necessitate the closing of roads or the ranch entirely.*
- 4. General contractor and sub-contractors shall provide proof of insurance including a minimum of \$2,000,000 of Liability coverage and \$500,000 Automobile Liability coverage naming Sun West Ranch Property Owners Association (SWRPOA) as additional insured, as well as Workers Compensation Coverage of at least the minimum required by the State of Montana. Proof of insurance policies (certificates) need to be filed at the POA office (406-682-4831) prior to the commencement of any work performed at SWR.*
- 5. All contract workers must be familiar with the Sun West Ranch Protective Covenants (CC&Rs) and the SWR Design Guide and meet all requirements of these documents. These documents are available online at www.sunwestranchpoa.com (Registration is required to access these documents.), at the POA OFFICE, or by calling 406-682-4831.*
- 6. Contractors (or their friends and family) are not allowed to hunt, fish, hike or recreate in any way on the ranch. Nor are they permitted to use the ranch to access any adjoining public lands. Penalty will result in a trespass fine from Madison County Sheriff Dept. Contractors are required to travel on the main roads, maintain the posted traffic speed of 25 miles per hour (or less) and only travel to and from the*

entrance gate to the job site. Failure to do so will result in speeding and trespassing fines by Madison County Sheriff Dept. Driving on Fire Roads is not allowed and will result in trespassing fines by Madison County Sheriff Dept. No vehicle is permitted to drive off the main roads except as necessary on the specific building site where the contractor is working.

7. Open burning is not allowed any time of the year. Contained burning in a 55-gallon drum (for warmth) is allowed during winter months by obtaining advanced approval from SWR management and by possessing a current burn permit provided by Madison County Rural Fire Department. Proof of burn permit must be filed at the POA office. **NO BURNING OF BUILDING MATERIAL WASTE IS PERMITTED.**
8. Only the job foreman can stay overnight in a trailer on the building site as a means of job security and to enforce compliance of these rules. The SWR manager must approve the location where the foreman's trailer is parked.
9. Firearms and fireworks are not allowed.
10. Vehicles must be parked so they do not block the roads.
11. Any road damage caused by construction vehicles must be repaired as requested by SWR Management.
12. No persons under the age of 18 years of age shall be permitted on the construction site.
13. Contractors are not allowed to bring dogs or any pets to any job site.
14. Music must be kept at a reasonable volume and only during construction hours.
15. Site must be maintained in a neat/tidy condition.
16. All food items or food trash that is kept on the site must be in bear proof containers.
17. A Conformance deposit of \$15,000 must be paid by the owner as specified in the SWR CC&Rs before construction is allowed to begin.
18. Any exceptions to the above Contractor Rules and Regulations must be approved by the SWRPOA Board of Directors and the Architectural Review Committee (ARC).

I, _____ (property owner), of Lot # _____, have read,
(Please Print Name)

understood and accept the above listed rules and regulations for all contract workers at Sun West Ranch.

(Property owner signature) DATE: _____

SUN WEST RANCH
APPLICATION FOR VARIANCE

Project: _____

Date: _____

Owner: _____

Lot: _____

Section of Design Review Guideline from which variance is requested:

Variance Request - Narrative:

The variance will be reviewed by the following criteria:

1. Does the variance adversely impact adjoining neighbors' views, drainage, access, or property?
Yes _____ No _____
2. Have neighbors been allowed to review the variance request?
Yes _____ No _____
3. Does the ARC deem the approval to be in the best interest of Sun West Ranch?
Yes _____ No _____

PROVISIONAL CERTIFICATE OF OCCUPANCY PERMIT AGREEMENT

This Provisional Certificate of Occupancy Permit Agreement (the "Agreement") is effective this ____ day of _____, 20____, by and between the Architectural Review Committee of the Sun West Ranch Property Owners' Association (the "ARC") and _____ and _____ (collectively, "Owner").

RECITALS:

The background of this Agreement is as follows:

A. Owner purchased a lot and is constructing a residence (the "Residence") in Sun West Ranch, pursuant to final plans that the ARC approved on _____(Date).

B. At the time of its approval, the ARC requested that Owner pay The \$15,000 Conformance Deposit (adjusted for an appropriate cost of living index designated by the ARC) pursuant to Article VI, Section 5 of that certain Second Restatement of Declaration of Restrictions for Sun West Ranch and Revocation of Earlier Restrictions, recorded March 23, 2009 as Document No. 130578, records of Madison County, Montana (the "Declaration").

C. Owner [has/has not] paid the conformance deposit.

D. The construction of the Residence has reached substantial completion.

E. The following items of construction, including landscaping, must still be completed (the "Unfinished Work"):

1. _____
2. _____
3. _____
4. _____

F. Owner is not able to complete the Unfinished Work currently because of weather conditions.

G. Owner has requested that the ARC issue a provisional certificate of occupancy permit ("Provisional Permit") to allow the Owner to occupy the Residence subject to Owner's full compliance with the terms and conditions of this Agreement.

H. The ARC has reviewed the Residence and confirms that the construction of the Residence meets design guidelines except for the Unfinished Work.

I. The ARC is willing to issue the Provisional Permit to Owner pursuant to the terms and conditions of this Agreement.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants stated herein and other good and valuable consideration the receipt and adequacy of which is acknowledged by the parties, the parties agree as follows:

1. Incorporation of Recitals

The Recitals stated above are incorporated in this Agreement as set out herein verbatim.

2. Payment of Conformance Deposit

The ARC shall not execute this Agreement and issue the Provisional Permit unless it has already received The Conformance Deposit.

Upon completion of the Unfinished Work, Owner shall notify the ARC, and the ARC shall either (i) determine, in its sole discretion, that the unfinished work has been satisfactorily completed according to Owner's approved final plans and return the Conformance Deposit to Owner; or (ii) use the Conformance Deposit, or a portion thereof, to cover the cost of completing the Unfinished Work to the ARC's satisfaction. If the cost of completing the Unfinished Work exceeds the Conformance Deposit, the Owner shall pay the excess cost to the ARC within five (5) days of Owner's receipt of invoice for such costs. If there are funds remaining after completion of the Unfinished Work, the ARC shall promptly return the unused portion of the Conformance Deposit to Owner.

3. Time to Complete Unfinished Work

Owner shall complete the Unfinished Work on or before _____ (the "Completion Date"). If the Unfinished Work is not completed by the Completion Date, the ARC has the right to use the Conformance Deposit funds to complete the Unfinished Work.

4. Provisional Permit

Subject to the terms and conditions of this Agreement, the ARC hereby grants a Provisional Permit to Owner to occupy the Residence.

5. Entire Agreement

This Agreement constitutes the entire agreement between the parties relating to the subject matter hereof, and it may be amended at any time only by mutual consent of the parties, provided that before any amendment shall be operative or valid, it shall be reduced to writing and signed by the ARC and Owner. Any amendments shall be serially numbered.

6. Attorney's Fees

In the event of any dispute between the parties, the prevailing party in any dispute instituted under this Agreement shall be entitled to recover from the other party its costs and expenses thereof, including, specifically, its reasonable attorney's fees.

7. No Assignment

Neither party may assign its rights or obligations under this Agreement to a third party without the prior written consent of the other party which consent shall not be unreasonably withheld.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first above written.

**ARCHITECTURAL REVIEW COMMITTEE OF THE SUN
WEST RANCH PROPERTY OWNERS' ASSOCIATION**

By: _____

Its: _____

Date: _____

OWNER

By: _____

Its: _____

Date: _____

SUN WEST RANCH
COMPLETENESS / OCCUPANCY AGREEMENT

Date: _____

Lot: _____

I, the Owner of the afore designated lot, do acknowledge that at no time until an approved occupancy permit or provisional occupancy permit has been issued by the Sun West Architectural Review Committee, shall I occupy, camp, reside on, or in any structure under construction.

Owner: _____

SUN WEST RANCH
ADDITIONAL TREE REMOVAL
APPLICATION

Date: _____

Owner: _____

Lot: _____

Tree Removal Contractor: _____

For proposed tree removal:

- Bright pink flagging with a single band on all trees greater than 4" in diameter within the Building Envelope.
- Bright green flagging with a double band on all trees greater than 8" in diameter outside the Building Envelope.
- Where removal of prominent clusters or groves is proposed, wrap flagging tape around the entire group.
- For trees to be saved within disturbed areas, wrap white flagging on all trees with handwritten note "save". Prior to the site inspection, the Owner is to submit plans, details, and specifications for proposed tree protection and maintenance during construction and permanent improvements such as tree wells, aeration systems, etc., for trees to be saved within disturbed areas.

The ARC Team will review the flagging on site and the plans with the Owner and will notify the Owner of its findings.

Flagging on the trees is to be changed as directed by the ARC and left in place on the trees to be saved for the duration of the construction process.

Sun West Ranch Architectural Review Committee:

Sign off: _____

Date: _____

Comments: _____

